

### 9.3. Identified Sites of Significance\_Institutions within Kenilworth (Schools, Rec Centers, Libraries, Sporting)

#### Introduction

A detailed visual survey was done in the area and various institutions listed below were identified as having historical, architectural and social significance. Most of the residents lives or their histories are entwined with these sites and buildings. Most of the sites have well documented histories and most are in good condition with their integrity and character having been preserved throughout the decades. It was therefore for this reason that all the sites in this category were graded with a 3A grading explained below. We however also acknowledge that most of the private institutions mentioned below have a low risk profile as they cannot easily be changed however their immediate surroundings must continue to support the character of the significant sites. Public institutions being of different nature have a higher risk profile as development on the site could be attained more easily.

#### Grading

3A\_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B\_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C\_Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

#### Summary Table of identified sites in the institutional category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
201	Salvation Army Hall used as Community Hall	3A	Conservation highly recommended if any changes there should be highly sensitive to building
1142	Southern Suburbs Community Centre and Bowling Club	3A	Conservation highly recommended if any changes there should be highly sensitive to building
1129	Kenilworth Nursery School, Educational Centre estimated to be from the 1910s	3A	Conservation highly recommended if any changes there should be highly sensitive to building

### 9.3.1. Salvation Army Hall\_Stand 201

Address	147 Fraser Street
Stand No.	201
Current Zoning	Residential 4
Year of erection	Pre-1951
Architect	Unknown
Heritage Significance	Social/ Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(c) its importance in the community, or pattern of South Africa's history; (b) fabric dates to the early origins of the suburb
Proposed SAHRA Grading	3A

#### Site Description

Now used by the Salvation army for various activities the Kenilworth Hall as one resident put it was the site for many late night parties. As with all Halls it was owned by the Council who intended it to be for recreational purposes. The council would then proceed to hire it out to different groups for different functions and indoor sports. It was a popular place for boxing matches in the 1920s, the Freemasons also made use of it in the early 1980s as a place for their meetings. It is still in a good condition though it shows signs of alteration.

#### Locality map



Fig. 257 Locality plan showing Salvation Army Building along the northern side of Fraser Street (Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 258 South elevation of Salvation Army building along Fraser Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 2-4 storeys	<b>Recommendations</b> Within the immediate surroundings of the site there are mostly single storey dwellings and an effort should be made to maintain the same building heights
<b>Transport</b> BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster; however, the park nearby is identified for an upgrade.	<b>Recommendations</b> Improvement and introduction of social amenities around the hall should contribute positively to the character and the ambience of the area surrounding the hall.
<b>Mixed Use Development</b> Site not within a mixed use development zone	<b>Recommendations</b> Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.

## Conservation Management Policies\_Grade 3A\_Institutional Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places where a lot of community programs and events take place they therefore occupy important spaces of historical and social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.



## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place, it has association with the history of the suburb. Buildings have a unique well documented history
Weakness	The rest of the site is not visually accessible from the street, only the front façade is accessible from the street
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected  Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium Density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_ Institutional sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict with the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours

- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.3.2. Southern Suburbs Bowling Club\_ Stand 1142

Address	640 De Villiers Street
Stand No.	1142
Current Zoning	Open Space
Year of erection	1950s
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(c) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> The club which has been in existence for decades is an important place for Rosettenville, Turffontein and Kenilworth. Though admission is by membership it is home to a variety of sports and recreations activities.	

#### Locality map



Fig. 259 Stand is located along the southern side of De Villiers Street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Images



Fig. 260 Image showing front façade of Southern Suburbs Bowling Club  
(Source: tsica heritage consultants, 2015)



Fig. 261 Building is visually accessible from the street  
(Source: tsica heritage consultants, 2015)



## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> It is important for ability of new buildings to fit into existing character of the streetscapes it is therefore recommended lower densities to surrounding
<b>Transport</b> BRT Station is not planned in the near vicinity of the school	<b>Recommendations</b> No street widening is recommended to conserve the street façades of the buildings.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> The area around the bowling club is not identified as a social cluster however should it be identified, improvement and introduction of social amenities around the area should contribute positively to the character and the ambience of the area surrounding of the club.
<b>Mixed Use Development</b> Site not within a mixed use development zone	<b>Recommendations</b> Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.

## Conservation Management Policies\_Grade 3A\_Institutional Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places where a lot of community programs and events take place they therefore occupy important spaces of historical and



social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place, it has architectural significance with its association with the turn of the century architectural typologies, it has association with historical and significant political figures. Site is aesthetically pleasing as the buildings and grounds are well kept</p> <p>Buildings have a unique well documented history</p> <p>Site is accessible to the public from the street</p>
Weakness	Site has been altered to a greater extent
Risk/ Threat	The site is earmarked for a medium high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	High Density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_Institutional sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict with the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

## **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.3.3. Kenilworth Nursery School\_Stand 1129

Address	156-162 Bertha Street
Stand No.	1129
Current Zoning	Residential 4
Year of erection	Circa 1910s
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(d) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Corrugated iron pitched roof building with stone foundation and stone arches usually associated with the early 20 <sup>th</sup> century and Herbert Baker typologies. Building could have supposedly been an officially used, still remains an important building as a nursery school. The building has maintained its original facades.	

### Locality map



Fig. 262 Locality map showing location of school building along the southern side of Bertha Street

(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Images



Fig. 263 Image showing front façade of the school building along Bertha Street  
(Source: tsica heritage consultants, 2015)



Fig. 264 Building is visually accessible from the street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> It is important for ability of new buildings to fit into existing character of the streetscapes it is therefore recommended lower densities to surrounding.
<b>Transport</b> BRT Station is not planned in the near vicinity of the school	<b>Recommendations</b> No street widening is recommended to conserve the street façades of the buildings.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> The school is not identified as a social cluster however should it be identified, improvement and introduction of social amenities around the school should contribute positively to the character and the ambience of the area surrounding the school.
<b>Mixed Use Development</b> Site not within a mixed use development zone	<b>Recommendations</b> Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.

## Conservation Management Policies\_Grade 3A\_Institutional Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places where a lot of community programs and events take place they therefore occupy important spaces of historical and



social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place, it has architectural significance with its association with the turn of the century architectural typologies, it has association with historical and significant political figures. Site is aesthetically pleasing as the buildings and grounds are well kept Site is accessible from the street
Weakness	Building has been altered Not much is known about the site history
Risk/ Threat	The site is earmarked for a medium high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	High Density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_Institutional sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict with the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

## **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 9.4. Identified sites of significance\_Religious buildings within Kenilworth (Churches, Synagogues)

### Introduction

Historically, religious buildings are an important indicator of the societal make up, therefore churches often hold an important historical repository. The churches continue to hold a social and spiritual significance in the community as places of worship. A visual street by street survey was done and all of the churches in the area mapped singled out as significant these were either significant because of their historical and architectural significance or because of the social standing they may have in the community. All the sites in this category were graded with 3A grading explained below only were a church building structure is used for a different purpose grading could be 3B or 3C. We however also acknowledge that most of the religious buildings mentioned below have a low risk profile as they cannot easily be changed however their immediate surroundings must continue to support the character of the significant sites.

### Grading

3A\_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

### Summary Table of identified sites in the religious category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
287	St Pauls Family Church_erected in the 1930s, well preserved	3A	Conservation highly recommended if any changes there should be highly sensitive to building
49-50	Apostolic Church building	3A	Conservation highly recommended if any changes there should be highly sensitive to building
783	Assembly of God Church building	3A	Conservation highly recommended if any changes there should be highly sensitive to building

#### 9.4.1. St Paul's Family Church\_Stand 287

Address	161 De Villiers Street
Stand No.	287
Current Zoning	Residential 4
Year of erection	1932
Architect	John Shaw
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history; (b) The Church is also a vital social and community engagement
Proposed SAHRA Grading	3A
<b>Site Description</b> The St Paul's Family Church was built in typical Cape Dutch, Germanic typology of the early NDK churches popular at the turn of the 20 <sup>th</sup> century. Built in the 1930s. the church is still in its original condition and has not had many changes over the year.	

#### Locality map



Fig. 265 St Pauls Church located in the north westerly direction of the Main Street  
Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 266 St Paul's Family Church street façade towards De Viliers Street  
(Source: tsica heritage consultants, 2015)



## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> Recommended lower densities to surrounding the building, the church is near the main street Kenilworth however same densities should be maintained to uphold the same character in that area.
<b>Transport</b> No BRT station or widening is planned in this area	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is within a mixed use development zone	<b>Recommendations</b> The building exists successfully with other mixed use building however building heights should be maintained.

## Conservation Management Policies\_Grade 3A\_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place, it has architectural significance with its association with turn of the century typologies, it has association with historical and significant local figures. Site is aesthetically pleasing as the buildings and grounds are well kept  Buildings have a unique well documented history
Weakness	No known weaknesses
Risk/ Threat	High density development around the site could increase pressure on the site as more people would attend services
Strength/Opportunity	High density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_Religious sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Make sure that no trees or structures introduced within a determined radius of the main house block, obstruct or divert attention from the site/historical cluster
- Maintain a 360-degree view of the significant site

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

## **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

#### 9.4.2. Apostolic Church\_Stand 49-50

Address	223 Donnelly Street
Stand No.	49-50
Current Zoning	Residential 4
Year of erection	Pre 1942
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(c) its importance in the community, or pattern of South Africa's history; (d) The Church is also a vital social and community engagement
Proposed SAHRA Grading	3A
<b>Site Description</b> One of the Apostolic Churches in the area the original plans were not available however there are alterations and additions to the church that are dated in the 40s. The church could be dated around the 1920s which is consistent with the Apostolic movement in Southern Africa. The building is a non-pretentious facebrick building clearly designed to show a distinct from the more elaborate Catholic or Protestant Churches.	

#### Locality map



Fig. 267 Stand is located along the northern side of Donnelly Street  
(Source: City Council of Johannesburg, GIS map)

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## Identifying Images



Fig. 269 Front façade of the Church  
(Source: tsica heritage consultants, 2015)



Fig. 270 Side view shows that face brick façade was added later on  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> Recommended lower densities to surround the building, Same densities should be maintained to uphold the same character in that area.
<b>Transport</b> No BRT station or widening is planned in this area	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster.	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place, it has architectural significance with its association with turn of the century typologies, it has association with historical and significant local figures. Site is aesthetically pleasing as the buildings and grounds are well kept  Buildings have a unique well documented history
Weakness	No known weaknesses
Risk/ Threat	High density development around the site could increase pressure on the site as more people would attend services
Strength/Opportunity	High density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_Religious sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Make sure that no trees or structures introduced within a determined radius of the main house block, obstruct or divert attention from the site/historical cluster
- Maintain a 360-degree view of the significant site

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

## **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.4.3. Assembly of God\_Stand 783

Address	33-35 Lindhorst Street
Stand No.	783
Current Zoning	Residential 4
Year of erection	Circa 1930
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(e) its importance in the community, or pattern of South Africa's history; (f) The Church is also a vital social and community engagement
Proposed SAHRA Grading	3A
<b>Site Description</b> Assembly of God is another unassuming Church that is nestled between residential properties. Though not architecturally striking it no doubt has an important place among the community with a growing congregation.	

### Locality map



Fig. 271 Locality map showing the church close to the Kenilworth High School  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**



## Identifying Images



Fig. 272 Building is visually accessible from the street with no fence around it  
(Source: tsica heritage consultants, 2016)



Fig. 273 Church building on the corner of Lindhorst and Kennedy Streets  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> Recommended lower densities to surrounding the building, Same densities should be maintained to uphold the same character in that area.
<b>Transport</b> No BRT station or widening is planned in this area	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place, it has architectural significance with its association with turn of the century typologies, it has association with historical and significant local figures. Site is aesthetically pleasing as the buildings and grounds are well kept  Buildings have a unique well documented history
Weakness	No known weaknesses
Risk/ Threat	High density development around the site could increase pressure on the site as more people would attend services
Strength/Opportunity	High density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_Religious sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Make sure that no trees or structures introduced within a determined radius of the main house block, obstruct or divert attention from the site/historical cluster
- Maintain a 360-degree view of the significant site

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

## **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 9.5 Identified sites of significance\_Residential buildings within Kenilworth (Semi-detached, freestanding)

### Introduction

Residential buildings are buildings that are generally used for residential purposes or have been zoned for residential usage. It must be noted the majority of residences are over 60 years, it was therefore imperative for detailed visual study to be done where the most significant buildings were mapped out. Their significance could be as a result of them being associated to prominent figures, association with special events, design patterns of a certain period in history, rarity or part of an important architectural school. Most of the sites identified in this category are of importance in their local contexts and are representative of the historical and cultural patterns that could be discerned from the built environment. All the identified sites were given a 3A category explained below.

### Grading

3A\_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3C\_Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

### Summary Table of identified sites in the residential category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
221	Residence with central stoep	3A	Conservation highly recommended if any changes there should be highly sensitive to building
RE/114 0	Residence with front stoep, turn of the century	3A	Conservation highly recommended if any changes there should be highly sensitive to building
293	Residential flats with central stoep	3A	Conservation highly recommended if any changes there should be highly sensitive to building
293	Residence from 1912 with corner front stoep	3A	Conservation highly recommended if any



Site/ Stand No.	Description	Provisional Grading	Heritage Implications
			changes there should be highly sensitive to building
140	Residence with corner stoep from 1911	3A	Conservation highly recommended if any changes there should be highly sensitive to building
15	Residence with corner stoep early turn of the century example	3A	Conservation highly recommended if any changes there should be highly sensitive to building
382	Residence with cape dutch gable and corner stoep, turn of the century example	3A	Conservation highly recommended if any changes there should be highly sensitive to building
143	Residence with corner stoep	3A	Conservation highly recommended if any changes there should be highly sensitive to building
92	Farm house type residential building	3A	Conservation highly recommended if any changes there should be highly sensitive to building
262	Farm house type residential building	3A	Conservation highly recommended if any changes there should be highly sensitive to building
14	Residence with corner stoep	3A	Conservation highly recommended if any changes there should be highly sensitive to building
419	Semi-detached residence	3A	Conservation highly recommended if any changes there should be highly sensitive to building
1/134 and RE/134	Semi-detached residence	3A	Conservation highly recommended if any changes there should be highly sensitive to building
235	Semi-detached residence	3A	Conservation highly recommended if any changes there should be highly sensitive to building

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
858	Semi-detached residence	3A	Conservation highly recommended if any changes there should be highly sensitive to building
323	Cedarmont Court	3A	Conservation highly recommended if any changes there should be highly sensitive to building
320	Cornelia, Residential house, art deco example	3A	Conservation highly recommended if any changes there should be highly sensitive to building
832	Marine Court, Residential house, developers project	3C	Possibility of changes and development. Recommended documentation

### 9.5.1. Residence with central front stoep\_Stand 221

Address	94-96 Lindhorst Street
Stand No.	221
Current Zoning	Residential 4
Year of erection	1926
Architect	Henry Rowe
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> A well preserved house with original bay windows, a centrally located stoep supported by precast columns, good example of a 20 <sup>th</sup> century central stoep house supported by columns.	

### Locality map



Fig. 274 Locality map showing the property corner Fraser and Lindhorst Street  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 221

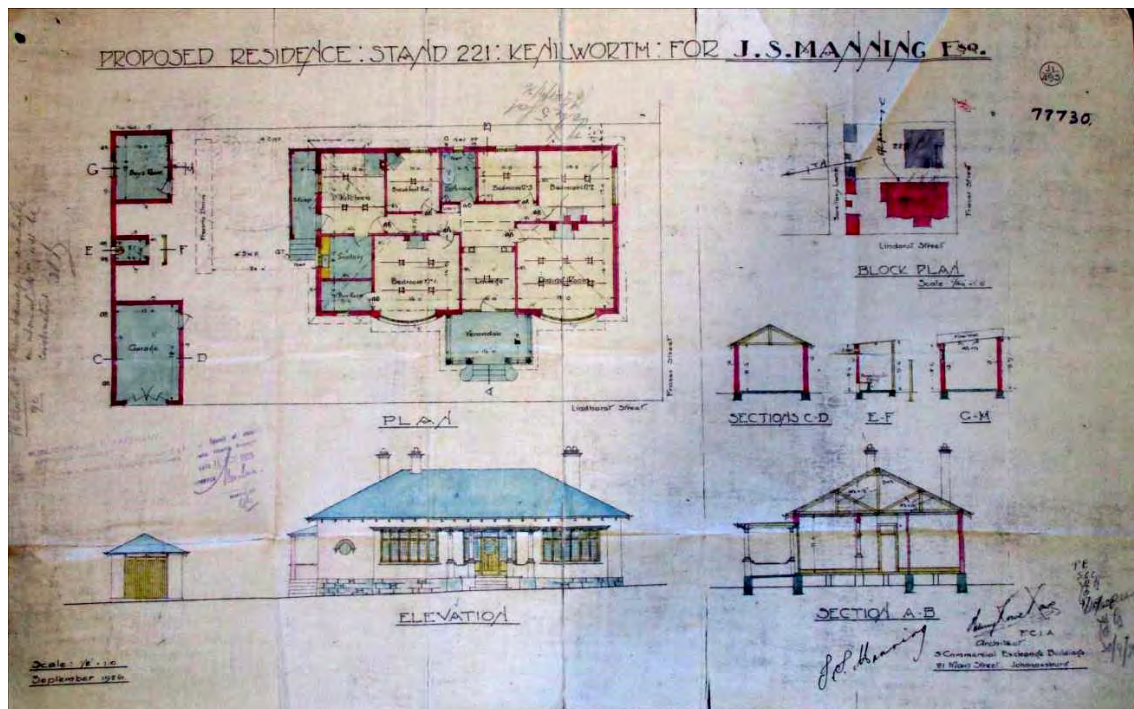


Fig. 275 Original plan for proposed residence from 1926  
(Source: City of Johannesburg, Plans Archives)

## Identifying Image



Fig. 276 Main façade along Lindhorst Street  
(Source: tsica heritage consultants, 2016)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to low (160-100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	<b>Recommendations</b> The building is a well conserved centrally located front stoep. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility. Within the immediate surroundings of the site there are mostly single storey dwellings and an effort should be made to maintain the same building heights
<b>Transport</b> BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster though it is adjacent to park that is identified for upgrade.	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place. Site is aesthetically pleasing as the buildings and grounds are well kept
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence Site is located centrally on the stand and makes it more difficult to introduce new buildings without interfering with the main building
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours

- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.5.2. Residence with front stoep\_Stand RE/1140

Address	137-139 Great Britain Street cnr Van Hulsteyn Street
Stand No.	RE/1140
Current Zoning	Residential 4
Year of erection	Circa 1910s
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
SAHRA Grading	3A
<b>Site Description</b> A well preserved house with original, a centrally located stoep supported by precast columns, good example of a 20 <sup>th</sup> century central front stoep house supported by columns. One of the few building typologies left in the suburb.	

### Locality map



Fig. 277 Stand is located on the corner of Great Britain and Van Hulsteyn Streets  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 278 Good example of front stoep supported by columns along the main façade  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to low (160-100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	<b>Recommendations</b> The building is a fairly conserved centrally located raised stoep. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility. Within the immediate surroundings of the site there are mostly single storey dwellings and an effort should be made to maintain the same building heights
<b>Transport</b> BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place. Site is aesthetically pleasing as the buildings and grounds are well kept
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence Site is located centrally on the stand and makes it more difficult to introduce new buildings without interfering with the main building
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site

- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.5.3. Residence with central stoep\_Stand 293

Address	118 De Villiers Street
Stand No.	293
Current Zoning	Residential 4
Year of erection	1912
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> House with a side facing central stoep and a tiled roof which looks to have been altered over time.	

### Locality map



Fig. 279 Stand is located along De Villiers Street  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 293

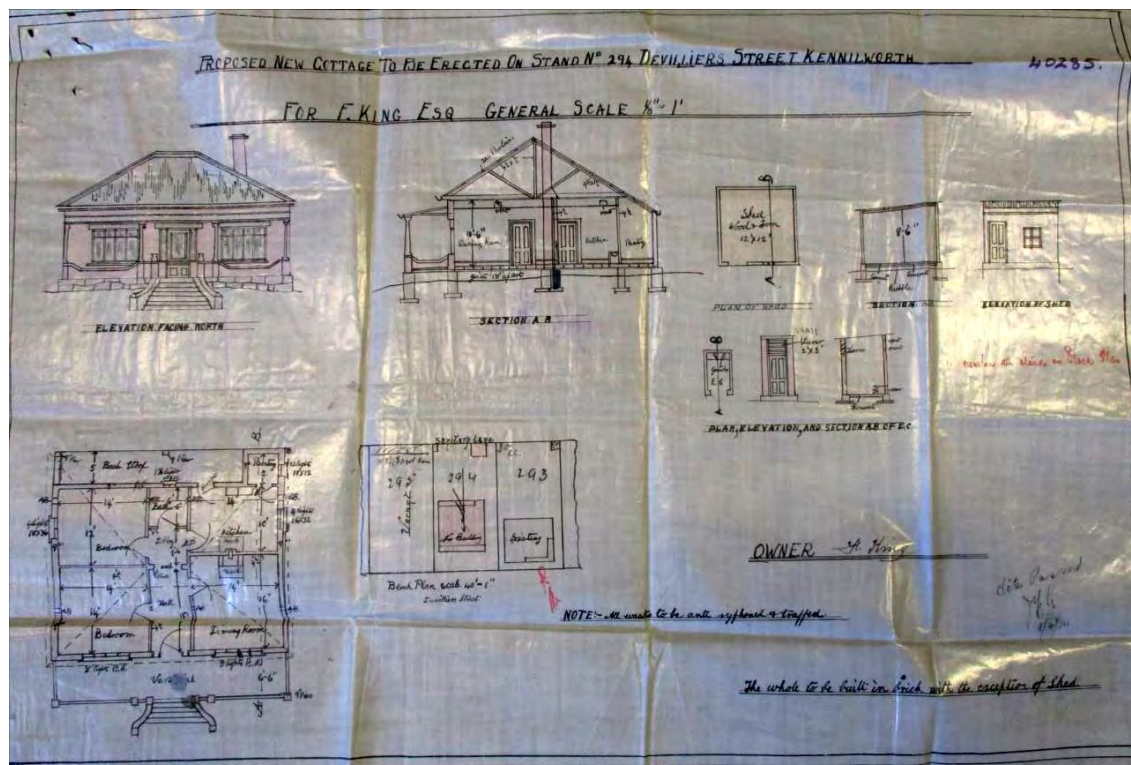


Fig. 280 Original plan showing house from 1912  
(Source: City of Johannesburg, Plans Archives)

## Identifying Image



Fig. 281 Replacement of corrugated roof with tiles evident  
(Source: tsica heritage consultants, 2015)



## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to low (160-100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	<b>Recommendations</b> The building is a well conserved centrally located raised stoep. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility. Within the immediate surroundings of the site there are mostly single storey dwellings and an effort should be made to maintain the same building heights
<b>Transport</b> BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place. Site is aesthetically pleasing as the buildings and grounds are well kept
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence Site is located centrally on the stand and makes it more difficult to introduce new buildings without interfering with the main building
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours

- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

#### 9.5.4. Residence with front corner stoep\_Stand 140

Address	252 Donnelly Street
Stand No.	140
Current Zoning	Residential 4
Year of erection	1911
Architect	See photo
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> A corrugated iron roof corner house in good condition with centrally located stoep supported by precast columns.	

#### Locality map



Fig. 282 Locality map house located along Donnelly street  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 140

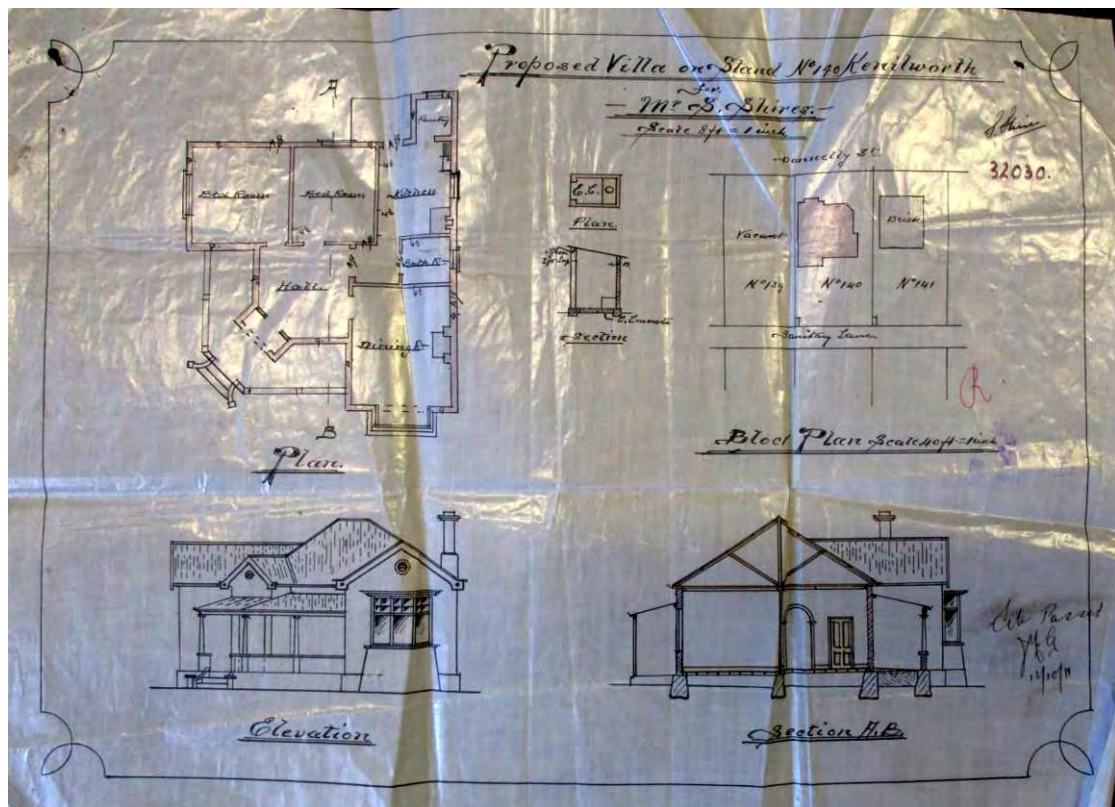


Fig. 283 Proposed Villa from 1911  
(Source: City of Johannesburg, Plans Archives)

## Identifying Image



Fig. 284 Front corner stoep  
(Source: tsica heritage consultants, 2015)



## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to high (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> The building is a well conserved centrally located raised stoep. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility.
<b>Transport</b> BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is within a mixed use development zone	<b>Recommendations</b> The site is an office at present and is existing successfully with other mixed use buildings.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place. Site is aesthetically pleasing as the buildings and grounds are well kept
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence Site is located centrally on the stand and makes it more difficult to introduce new buildings without interfering with the main building
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours

- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.5.5. Residence with front corner stoep\_Stand 15

Address	180 Donnelly street
Stand No.	15
Current Zoning	Residential 4
Year of erection	Circa 1920
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> An early 20 <sup>th</sup> century well preserved house with a corner stoep supported by precast decorative columns.	

### Locality map



Fig. 285 Stand is located on the corner of Donnelly and Leonard Streets  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 286 Corner house with front stoep supported by decorative columns  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b>  Medium to high (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b>  The building has a well conserved corner stoep. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility.
<b>Transport</b>  BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b>  Not applicable.
<b>Social Cluster Development</b>  Area is not identified as social cluster	<b>Recommendations</b>  Not applicable.
<b>Mixed Use Development</b>  Site is within a mixed use development zone	<b>Recommendations</b>  The site is an office at present and is existing successfully with other mixed use buildings.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place. Site is aesthetically pleasing as the buildings and grounds are well kept
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence Site is located centrally on the stand and makes it more difficult to introduce new buildings without interfering with the main building
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours

- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.5.6. Residence with Cape Dutch Gable and corner stoep\_Stand 106

Address	145 Bertha Street
Stand No.	106
Current Zoning	Residential4
Year of erection	1911
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Corrugated iron roof house from 1911 with corner stoep supported by precast columns and an elegant Cape Dutch gable that seems to have been added later.	

### Locality map



Fig. 287 Stand is located on the corner of Bertha and Van Hulsteyn Streets  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 106

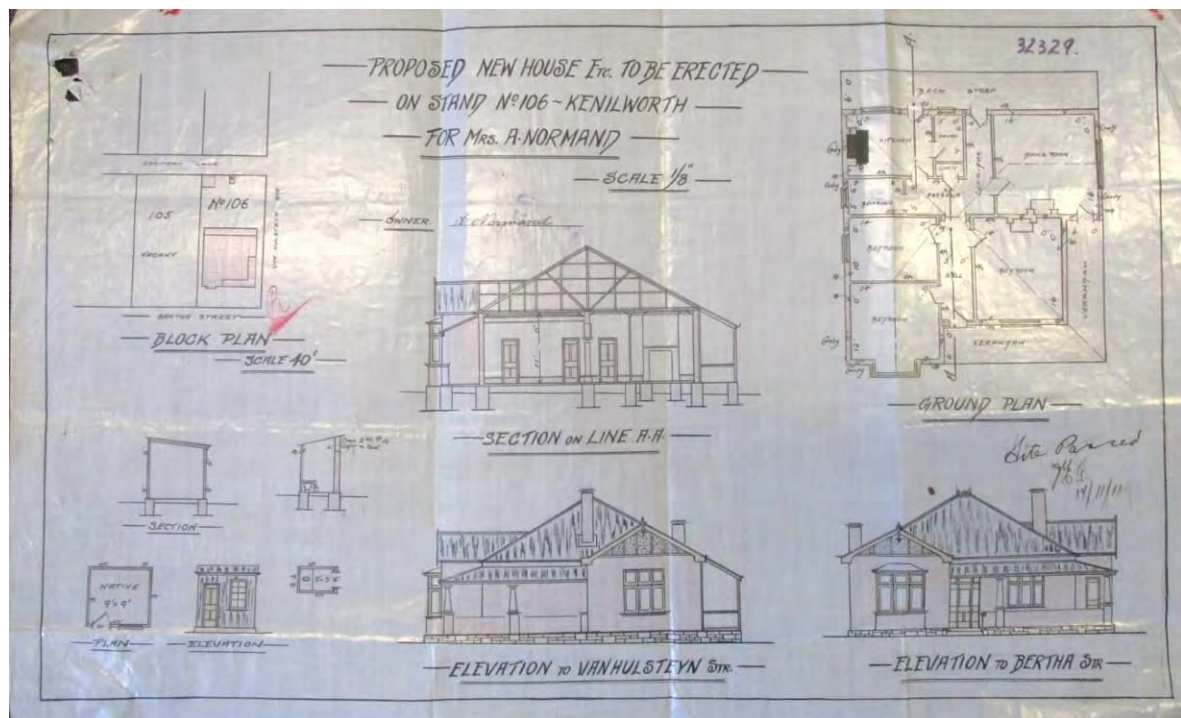


Fig. 288 Proposed plan for house with corner stoep  
 (Source: City Council of Johannesburg, Plans Archive)



## Identifying Images



Fig. 289 Front façade of the house showing Cape Dutch Gable and some of the original features  
(Source: tsica heritage consultants, 2015)



Fig. 290 Cape Dutch Gable along Bertha Street  
(Source: tsica heritage consultants, 2015)



## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to low (160-100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	<b>Recommendations</b> The building has a well conserved corner stoep. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility.
<b>Transport</b> BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	The site has a lot of original features that are still intact
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence Site is located centrally on the stand and makes it more difficult to introduce new buildings without interfering with the main building  The site is not in a good condition
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours

- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.5.7. Residence with corner stoep\_Stand 382

Address	136 Sheffield Street
Stand No.	382
Current Zoning	Residential 4
Year of erection	1910
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Turn of the century house with typical raised verandah, support by precast decorative columns and an attempt to be upmarket was made as seen by the wrap around verandah.	

### Locality map



Fig. 291 Stand is located along the southern side of Sheffield Street  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 382

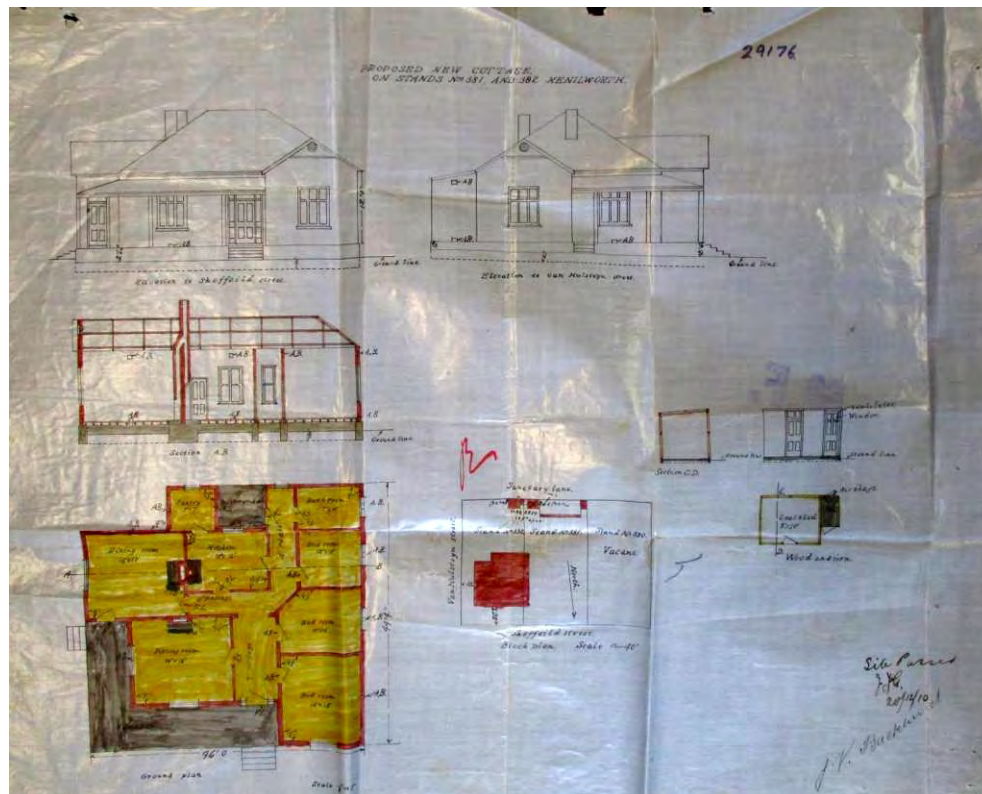


Fig. 292 Proposed building which shows that there have been very little changes to date (Source: City of Johannesburg, Plans Archives)

## Identifying Image



Fig. 293 Street façade of residence along Sheffield Street (Source: tsica heritage consultants, 2015)



## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to low (160-100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	<b>Recommendations</b> The building is a well conserved. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility.
<b>Transport</b> BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	The site has a lot of original features that are still intact
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence Site is located centrally on the stand and makes it more difficult to introduce new buildings without interfering with the main building  The site is not in a good condition
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site

- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.5.8. Residence with side stoep\_Stand 143

Address	104 Lindhorst Street
Stand No.	143
Current Zoning	Residential 4
Year of erection	1915
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> A well preserved 1915 house with side stoep, still in its original condition according to the plan.	

### Locality map



Fig. 294 Stand is located on the corner of Lindhorst and Bertha Streets  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 143

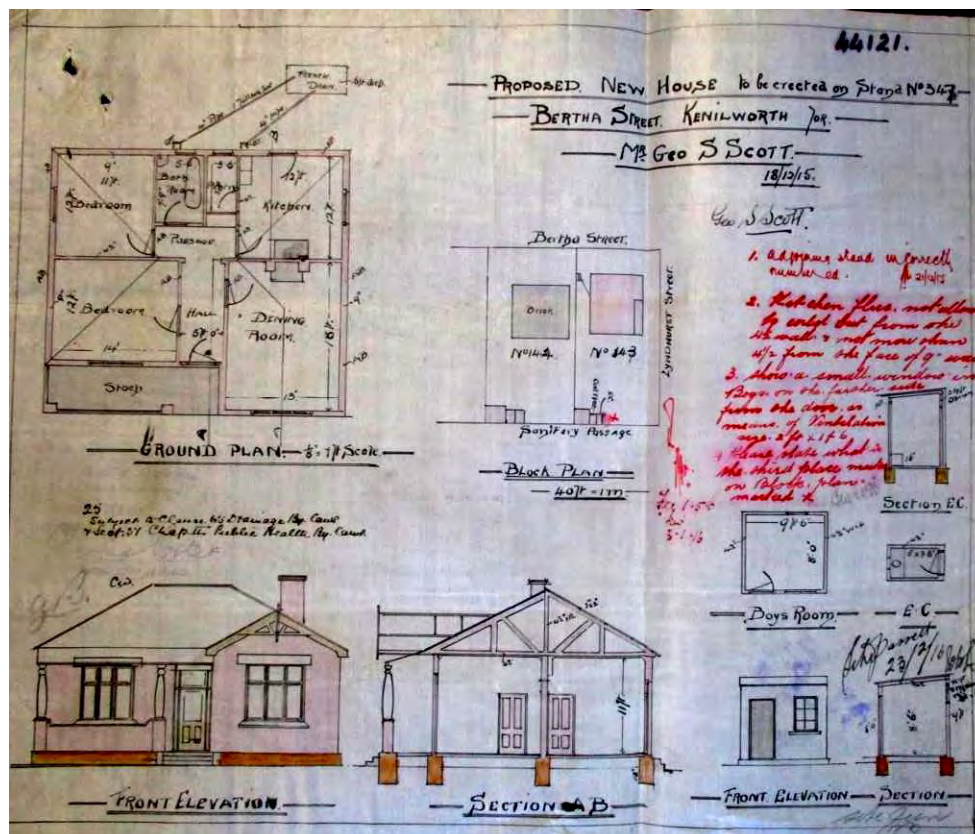


Fig. 295 Proposed plans of a new house to be erected in 1915  
 (Source: City of Johannesburg, Plans Archives)



## Identifying Images



Fig. 296 Street façade along Lindhorst Street  
(Source: tsica heritage consultants, 2015)



Fig. 297 Zoomed in image shows original features still intact  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to low (160-100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	<b>Recommendations</b> The building is a well conserved side located raised stoep. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility. Within the immediate surroundings of the site there are mostly single storey dwellings and an effort should be made to maintain the same building heights
<b>Transport</b> BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> Area is not identified as social cluster though it is along a pedestrianized upgrade	<b>Recommendations</b> The pedestrianisation will increase the ambiance of the street.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place. Site is aesthetically pleasing as the buildings and grounds are well kept
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence Site is located centrally on the stand and makes it more difficult to introduce new buildings without interfering with the main building
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours

- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



### 9.5.9. Farm House Type\_Stand 92

Address	149 Donnelly Street
Stand No.	92
Current Zoning	Residential 4
Year of erection	1909
Architect	W.G Lansley
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(b) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> A corrugated iron roof typical farm house style house that were the earliest permanent homes that are still surviving in this suburb. Few are left in such pristine condition.	

### Locality map



Fig. 298 Stand is located on the corner of Donnelly and Hulsteyn Streets  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 92

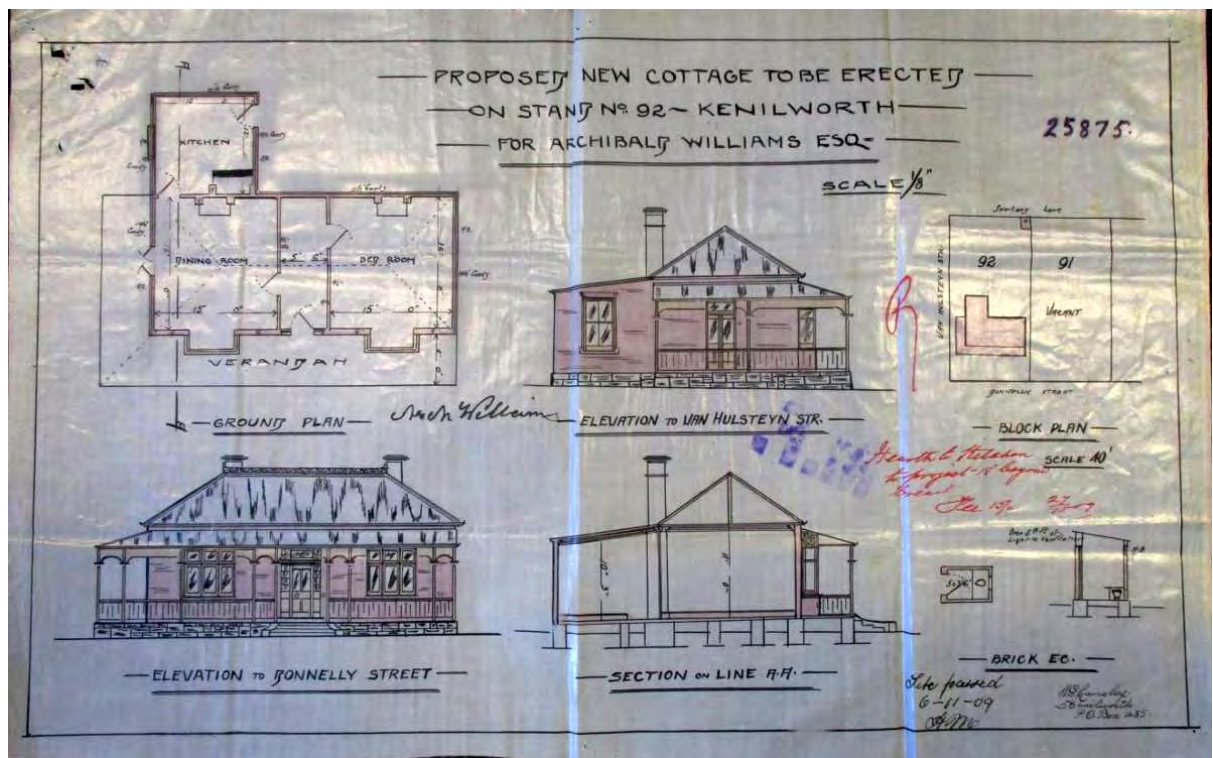


Fig. 299 Proposed new cottage along Donnelly Street  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 300 Street façade along Donnelly Street with residence still in an original condition  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b>  Medium to low (160-100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	<b>Recommendations</b>  The building is well conserved. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility.
<b>Transport</b>  BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b>  Not applicable.
<b>Social Cluster Development</b>  Area is not identified as social cluster	<b>Recommendations</b>  Not applicable.
<b>Mixed Use Development</b>  Site is not within a mixed use development zone	<b>Recommendations</b>  Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	The site has a lot of original features that are still present
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence The site is not in a good condition
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



#### 9.5.10. Corner residence with two gables\_Stand 262

Address	127 Van Hulsteyn Street
Stand No.	262
Current Zoning	Residential 4
Year of erection	1911
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> A corner residence with two gables and a covered entrance area. These types of houses have been identified as the earliest houses in the suburb and the area few of them remain.	

#### Locality map



Fig. 301 House is located on the cnr Van Hulsteyn and De Villiers with entrance in De Villiers Street  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 262

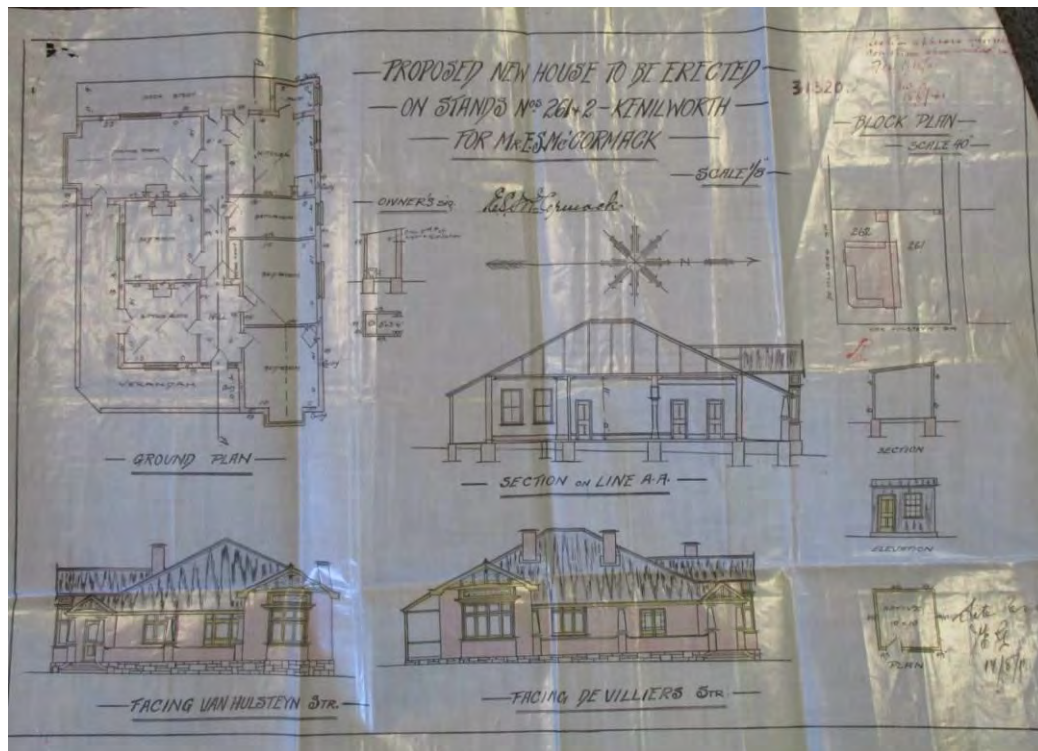


Fig. 302 Plans of proposed house date as early as 1911  
(Source: City of Johannesburg, Plans Archives)

## Identifying Image



Fig. 303 Corner residence with two gables altered over the years  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b>  Medium to low (160-100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	<b>Recommendations</b>  The building is well conserved. The building is recommended for conservation and views and vistas towards this site should remain open for maximum visibility.
<b>Transport</b>  BRT Station is not planned in the immediate surroundings of the site	<b>Recommendations</b>  Not applicable.
<b>Social Cluster Development</b>  Area is not identified as social cluster	<b>Recommendations</b>  Not applicable.
<b>Mixed Use Development</b>  Site is not within a mixed use development zone	<b>Recommendations</b>  Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	The site has a lot of original features that are still present
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence The site is not in a good condition
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	Medium density development may allow for increased visibility to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

#### 9.5.11. Residence with corner stoep\_Stand 14

Address	226 Turf Club Road
Stand No.	14
Current Zoning	Residential 4
Year of erection	1911
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A

#### Site Description

Early 20<sup>th</sup> Century house (farm house style) with an interesting corrugated iron roof. Proposed plan shows a corner stoep as was common in the more luxurious houses at the time but later changes were made to the house.

#### Locality map



Fig. 304 Stand is located along the southern side of Turf Club Road  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 14

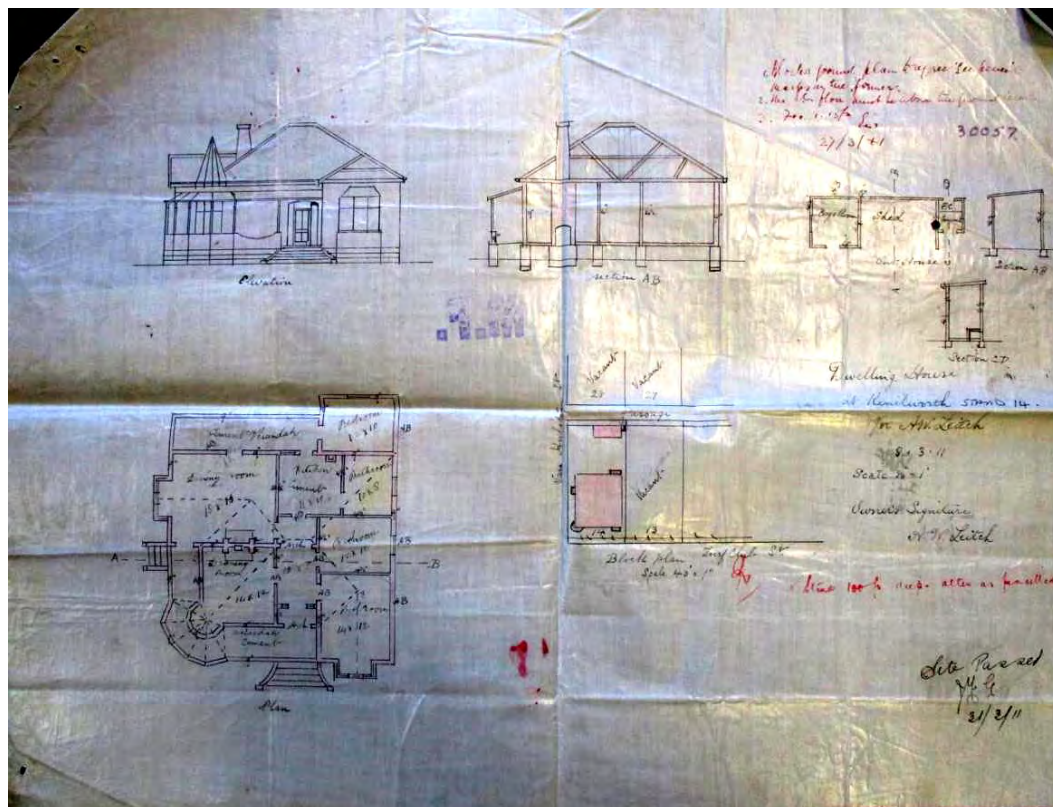


Fig. 305 Original plan from 1911 show a turret which is now not existent  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 306 Corner residence with collapsed steep roof in need of repair  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> The building is a unique example of a fairly well conserved turn of the century architecture in the area it therefore recommended that new buildings do not detract, overpower or it is therefore recommended single storey densities be planned around this building.
<b>Transport</b> Site is along main BRT route transit spine	<b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is within a mixed use development zone	<b>Recommendations</b> Site is already adjacent to single storey building and general building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be accessed by the public and could be a good example of an original corner shop in the street</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p> <p>There have been several alterations and additions to the building thereby compromising its integrity</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p>
Strength/Opportunity	<p>High Density development may allow for increased access to the site and economic and social significance of the site</p> <p>Economic potential due to the site's location and re-use</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

## **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



### 9.5.12. Semi-detached residence with centrally located stoep\_Stand 419

Address	160 Sheffield Street
Stand No.	419
Current Zoning	Residential 4
Year of erection	1912
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A

#### Site Description

Single storey raised stoep corrugated iron hipped roof, the original plans show a Victorian lace decorating the edge of the deep verandah, this is not present as the semis having been altered, however some original features still remain such as the doors. The stoep also opens up to the street which was common at the turn of century.

#### Locality map



Fig. 307 Stand is located on the corner of Sheffield and Lindhorst Streets  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 419

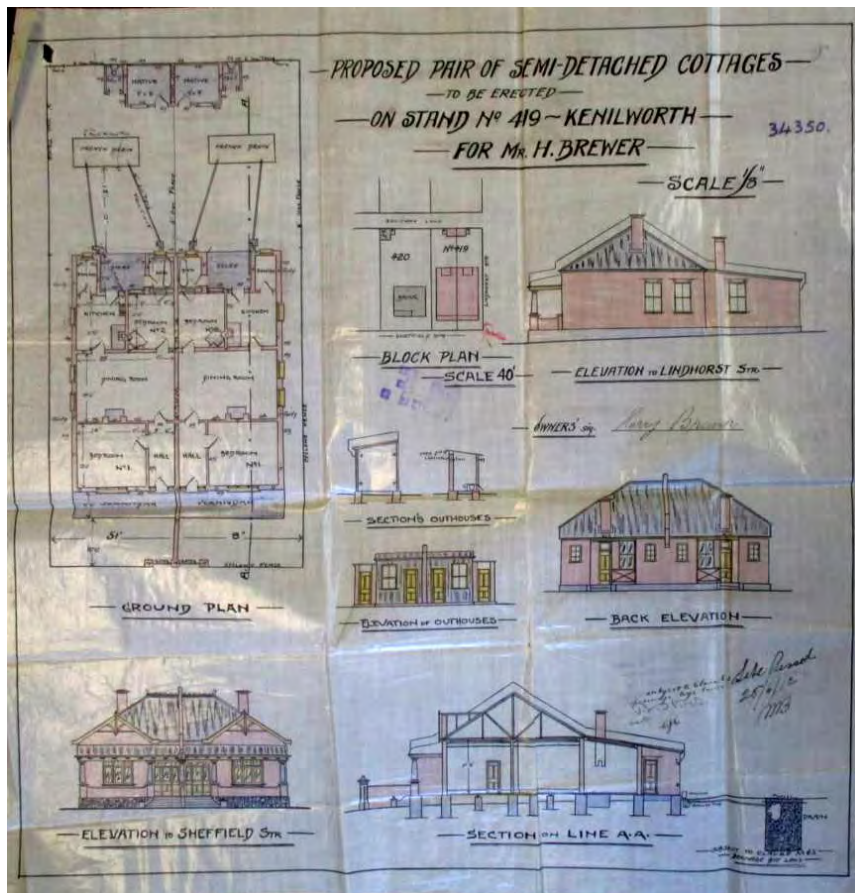


Fig. 308 Proposed pair of semi-detached cottages  
(Source: City of Johannesburg, Plans Archives)

## Identifying Image



Fig. 309 Semi-detached residence was altered but stoep and the stairs still open up to the street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to High (160-100dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> The building is a semi-detached centrally located stoep with side entrance. Recommended development can take place around but this particular building should be kept as a representative building.
<b>Transport</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	Site can be accessed visually by the public Alterations done on the site are reversible
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence The site has been altered
Risk/ Threat	The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Medium density development may allow for increased access to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



### 9.5.13. Semi-detached residences\_Stand 1/134 & RE/134

Address	240 Donnelly Street
Stand No.	1/134 & RE/134
Current Zoning	Residential 4
Year of erection	Circa 1930s
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Semi-detached elegant stone cladded residences with corrugated roof, separated by a fire wall and arches. There are still a few of these left in the suburb especially along Turf Club Road. There are usually found in cluster leading to the conclusion that they may been a developers' project.	

### Locality map



Fig. 310 Stands are located along the southern side of Donnelly Street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**



## Identifying Image



Fig. 311 Semi-detached residences with natural stone cladding  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> Semi-detached residences with centrally located entrance. Recommended development can take place around but this particular building should be kept as a representative building.
<b>Transport</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is within a mixed use development zone	<b>Recommendations</b> Site is within a mixed use development zone along Donnelly Street.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	Site can be accessed visually by the public and could be a good example of a semi-detached houses  Alterations done on the site are reversible
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence The site has been altered
Risk/ Threat	The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Medium density development may allow for increased access to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

#### 9.5.14. Semi-detached residences with Cape Dutch Gable\_Stand 235

Address	90-92 Leonard Street
Stand No.	235
Current Zoning	Residential 4
Year of erection	Circa 1930
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Semi-detached houses with a Cape Dutch gable, well preserved with most of the original fittings still in place such as doors.	

#### Locality map



Fig. 312 Stand is located on the corner of Leonard and Fraser Streets  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**



## Identifying Images



Fig. 313 Cape Dutch gable semi-detached residences with main elevation towards Leonard Street  
(Source: tsica heritage consultants, 2015)



Fig. 314 View along Leonard Street with Cape Dutch gable semi-detached residences  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> The building is a semi-detached centrally located stoep with central entrance. Recommended development can take place around but this particular building should be kept as a representative building.
<b>Transport</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is within a mixed use development zone	<b>Recommendations</b> Site is within a mixed use development zone and already successfully exists with other mixed use buildings.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	Site can be accessed visually by the public and could be a good example of a semi-detached buildings
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence The site has been altered o some extent though some original features are still there
Risk/ Threat	The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Medium density development may allow for increased access to the site and economic and social significance of the site

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



### 9.5.15. Semi-detached residences\_Stand 858

Address	156 Great Britain Street
Stand No.	858
Current Zoning	Residential 4
Year of erection	1935
Architect	See photo
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(b) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C
<b>Site Description</b> Semidetached are typical of the 1930s when Johannesburg experienced a burst in population resulting in the need to create higher densities per sq meter. Face brick building has side entrances that have a square shaped verandah that is supported by decorative precast columns.	

### Locality map



Fig. 315 Stand is located along the southern side of Great Britain Street  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 858

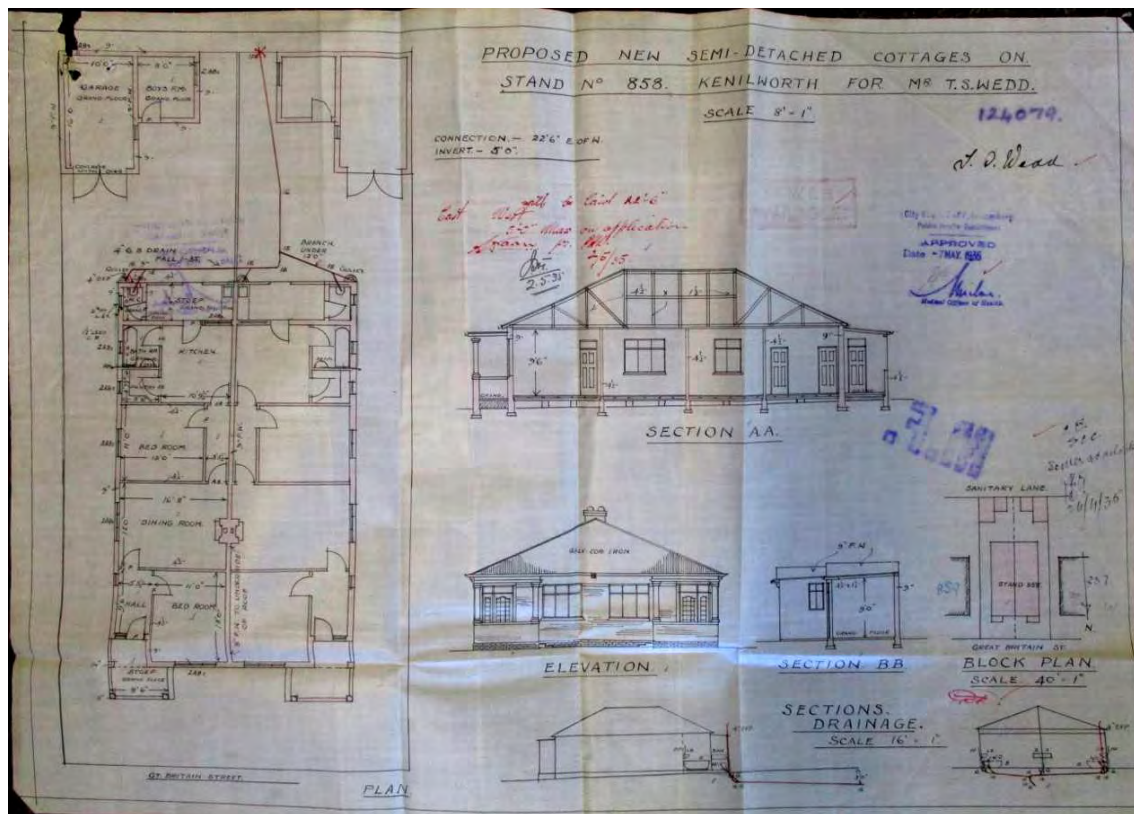


Fig. 316 Proposed semi-detached with corner stoeps and entrances on either side  
Source: City of Johannesburg, Plans Archives)

## Identifying Image



Fig. 317 Street façade towards Great Britain Street with corner stoeps and entrances on either side  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> 1930s developer's project. Development and higher densities can be accommodated development but recommended documentation.
<b>Transport</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3C\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

#### 9.5.16. Cedarment Court\_residential flats\_Stand 323

Address	154 De Villiers Street
Stand No.	323
Current Zoning	Residential 4
Year of erection	Circa 1940
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Three storey residential flat building with art deco elements on the main street façade towards De Villiers Street.	

#### Locality map



Fig. 318 Stand is located along De Villiers Street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**



## Identifying Image



Fig. 319 View of North elevation along De Villiers Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> Development and higher densities can be accommodated development but recommended documentation.
<b>Transport</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area except pedestrianisation of De Villiers Street	<b>Recommendations</b> This could be of an advantage to the court, with an improved ambience.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



### 9.5.17. Cornelia Court\_Stand 320

Address	144 De Villiers Street
Stand No.	320
Current Zoning	Residential 4
Year of erection	Circa 1920
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Cornelia court is a three storey well preserved Art Deco flat block of the 1920s possibly the only one existent in the suburb. The court is well preserved and has had little changes done to it.	

### Locality map



Fig. 320 Stand is located the southern side of De Villiers Street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 321 One of the rare art deco buildings in the suburb  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> The building is a unique example of a well conserved Art Deco court in the area it therefore recommended that new buildings do not detract, overpower or it is therefore recommended single storey densities be planned around this building.
<b>Transport</b> Site is along main BRT route transit spine	<b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area however a pedestrianisation and park upgrade is earmarked	<b>Recommendations</b> Park upgrade will enhance the importance of this building as it will enhance the ambience of the surroundings.
<b>Mixed Use Development</b> Site is within a mixed use development zone	<b>Recommendations</b> General building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.

## Conservation Management Policies\_Grade 3A\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place  Site can be visually accessed by the public and could be a good example of art deco building in the suburb
Weakness	The site's/event/social histories' potential is under-researched or there is incomplete historical evidence
Risk/ Threat	The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	High Density development may allow for increased access to the site and economic and social significance of the site  Economic potential due to the site's location and re-use

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



### 9.5.18. Marine Court\_Stand 832

Address	132 Great Britain Street
Stand No.	832
Current Zoning	Residential 4
Year of erection	1954
Architect	Unknown
Heritage Significance	Historical/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(b) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C
<b>Site Description</b> Typical developers' projects that is found all over the suburb. These courts can be considered for development with at least one example left.	

### Locality map



Fig. 322 Stand is located along the southern side of Great Britain Street  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 832

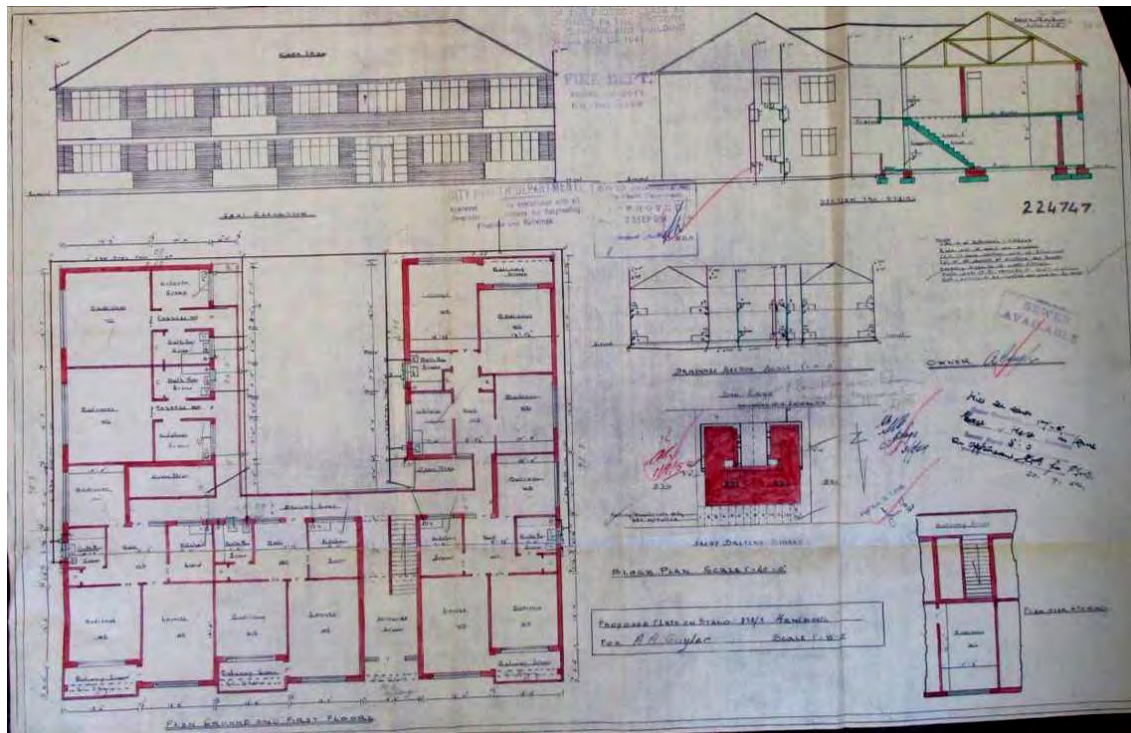


Fig. 323 Proposed plan for flat block  
(Source: City of Johannesburg, Plans Archives)

## Identifying Image



Fig. 324 North elevation along Great Britain Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Medium to low (160-100dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	<b>Recommendations</b> Development and higher densities can be accommodated but documentation is recommended.
<b>Transport</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3C\_Residential Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## 10. Concluding Remarks

The HIA and the CMP study was undertaken to fulfil the regulatory procedures that are contained in the NHRA 25 of 1999 in view of the strategic area framework. The report also serves the purpose of documenting the most culturally and significant sites found in the five HIA precincts and identifying historical clusters where such significant sites are clustered in one area. It is recognised that all the findings are based on the archival research and visual surveys that were done in these areas, the report will remain open ended until the conclusion of a public participation period in which all stakeholders interested and affected parties are welcome to contribute, comment to the report.

It is important to regard and read this report as working document for both the client, Johannesburg Development Agency and the public. Many of the sites that are included in this report are representative sites as most suburbs have buildings that are older than 60 years which may to a certain extent have inherent cultural, social, architectural or historical significance. Because of the nature of the study it was not possible to include all 60-year-old sites in the report so a criterion was developed to choose the most representative, rare, unique and culturally significant sites which were given a 3A grading. These sites become visible as locally important heritage sites in their respective areas. They were then assessed individually and conservation management guidelines allotted to each of them.

Moving forward, the public participation procedure will consist of several public meetings to be held in each of HIA areas where the public will be presented with the combined HIA, CMP reports and asked for comment on the comment forms. The report will be available in the public libraries for each of the areas for 30 days after which, the period for submitting comments will be complete. All comments will then be addressed and compiled into a public participation report which will be part of the final HIA report. The final HIA report will be submitted to the PHRA\_G for consideration and approval.



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- <http://www.jhbcityparks.com/index.php/news-mainmenu-56/1222-rotunda-park-transformed-in-12-hour-makeover-blitz>
- <http://www.jda.org.za/index.php/latest-news/1678-turffontein-corridor-development-gets-under-way>

## **Images, Maps and Plans**

- City of Johannesburg, GIS Department for all locality maps.
- City of Johannesburg, Plans Department for all original plans.
- Current photographs: tsica heritage consultants, 2015.
- Google maps.

## APPENDIX A\_Historical overview of the Corridors of Freedom

By Clive Chipkin



### Geology & Topography

**GEOLOGY** and the 19-century World Market determined the locality of Johannesburg.

**TOPOGRAPHY** contributes significantly to the sense of place, the *genius loci*, in a region of low hills and linear ridges.

Gatsrand, 30 Km to the South; Suikerbosrand, 30 Km to the South East; the Klipriviersberg immediately to the South. In the foreground are the parallel East-West scarps and residue hills of the area magically named the Witwatersrand, looking northwards across a panorama of rolling country and gently sloping valleys to the Magaliesberg horizon – all part of the multiple Johannesburg immersion.

Fig. 1 Section of topographical map of Johannesburg.  
(Source: Office of Surveyor General, Cape Town, surveyed in 1939)

The great plains of the continental plateau enters the town-lands: the Houghton-Saxonwold plain north of the ridges and Doornfontein to Turffontein plain occupying the space between the Braamfontein high ground and the Klipriviersberg.

The spaciousness – a word used by the visiting geographer JHG Lebon (1952:An Introduction to Human Geography) – of the landscape means that Johannesburg, unlike Durban and Cape Town can expand in almost any direction but after a century plus decades of urban growth, it is our delectable ridges that remain repositories of ancientness.

The north facing Parktown ridge with its extension on the Westcliff promontory and its continuation as the Houghton and Orange Grove escarpment to the east form a decisive topographical feature defining the major portion of the Northern Suburbs as well and the ancient routes of the wagon roads to the north.

Olive Schreiner and her husband, Cronwright, had on a Sunday's outing on the as yet unnamed Parktown ridge, scrambled over this 'kopje' out of town as if there was no civilisation for thousands of miles (Martin 1987:338).

The Orange Grove escarpment is "one of those prized ridge sites that constitute the north-flowing watershed of the Witwatersrand region. In fact, the perennial springs and small cascades that were once a feature here helped give this region of hills its magical 19-century name. Both the seasonal creek that creates a donga hazard at the 4<sup>th</sup> hole of the Houghton Golf Course and then continues through Orchards, as well as the Lemoenplaats Spruit originate on the high ground nearby. Below the ridge is the line of the old wagon road to Pretoria via Halfway House."



Fig. 2 Witwatersrand hills looking South from Halfway House 1889, Wagon Road: Johannesburg-Pretoria vaguely on left. The building was partly replaced by a 1930's modernistic hotel and the main tarmac road on the left in the 1930's – 1960's. (Source: Clive Chipkin architectural archive)

## **Spruits**

Johannesburg is crossed with numerous small seasonal watercourses – either basically North to South or South to North from the original perennial springs of the Witwatersrand watershed. Many of our south spruits were blocked or diverted in marshy peripheries by the random placing of the gold tailings. These barely noticed irregular spruits are usually discounted except as donga, sloot or water hazards on our linear golf courses. These spruits – frequently canalized or in storm water pipes and culverts – that barely feature on our road maps but can be picked up as flood-plain gaps in our townscape as in the separation of Old Alex from the newer East Bank in Alexandra Township, off Louis Botha or as riverine servitudes in suburbs from Gardens to Craighall or in building gaps in City & Suburban where the origins of the south flowing Natalspruit occurs.

Only three of our spruits have entered our consciousness – the Jukskei in the east, the Braamfontein in the west (both north flowing) and the south flowing Klipspruit in the west.

The Klipspruit “as insignificant as it is, would become the locus of Johannesburg’s black locations”, the great marker of ‘otherness’ in both the pre-Apartheid and formal Apartheid eras.

Both the Braamfonteinspruit and Jukskei are marked on early maps and were prominent as settlement places. We can assume the granite stepping-stones on the Craighall branch of the Braamfonteinspruit are ancient trade crossing points. Upstream, van Onselen records the Amawasha presence at the San Souci hollow (Van Onselen 1982). An insignificant tributary (now partly canalized in Empire Road), fed by the flows off the Braamfontein ridge was “in the 1916 inundation a raging torrent”. This area was recorded in old maps “as the Sources of the Limpopo”, a designation that happily survives in the small Anglican chapel of St. Mary’s-on-the-Limpopo at Palmer Place adjacent to Clarendon Circle.

The river-eye of the Jukskei is in the long valley of the original Doornfontein farm extending between the Yeoville-Observatory ridge and Langerman’s Kop. The small stream explains the site of Bezuidenhout’s farm.

### **Game Trails**

In his book, *The Ridge of White Waters*, WC Scully (1912) describes the migratory game herds crossing the Yeoville Ridge.

Terence Clarkson, a writer of Nature Notebook in the 1960s from a consciousness of place and recollection of conversations amongst his mother and old-timers wrote of game movements from the Empire Road tributary up the Twist Street rise and along Op de Bergen Street, Troyeville to the Jukskei spring in the long Doornfontein valley.

From family observations, I conclude that there were once elephant tracks in the kloof between The Wilds and the Houghton ridge – the route of the future Houghton Drive – leading to waterholes and succulent veld grasses in the valley below the Yeoville ridge.

### **Roads**

There were early tracks and veld paths on the Witwatersrand hills before the opening up of the gold fields. Two wagon tracks converged on Pretoria. The first was on the S-N route Scully records. This was the early route described in *Johannesburg Style - Architecture & Society 1880s - 1960s* as “winding over the shoulder between the Parktown and the Westcliff promontory and on to the crossing of the Braamfonteinspruit below the Craighall kopje” via the nearby hostelry, The Colony (Chipkin, C. 1993). This virtually follows the line of Jan Smuts Avenue today and dates from at least the “early seventies” (Scully 1912).

The road northwards from Booysens was in 1886/7 known as the Kimberley Road (according to Hunter McLea (Chipkin 1993:9)). This provides the South West



entry point to the new town. The route Booyens – Market Square – Braamfontein linked up, I suggest, with the principal South – North route described above.

There was a main North-West wagon track Potchefstroom – Pretoria which skirted the Witwatersrand hills. In 1886 Sauer observed a rough turn-off from this route and “took a track leading North by East” to reach the farm Langlaagte on the Witwatersrand. This was the origin of the West entry to Johannesburg.

The second wagon track to Pretoria, along what became the Louis Botha Avenue axis has a more complicated history, as I read it.

There was an East wagon route from the port of Durban to Pretoria via Heidelberg and the hostelry that became Halfway House, which Leyds (1964) dates from 1878. This is the route shown on Thomas Baine’s map, 1876.

With the establishment of Johannesburg in 1886 the main West wagon track Potchefstroom – Pretoria and the main east route Heidelberg – Pretoria both became diverted through the Randjeslaagte Mining camp centred on Market Square.

To retrace our steps in 1886:

The entry point to the new town of Johannesburg from Pretoria in the North East was via the self-same Halfway House inn and then onto Lemoenplaats below the Orange Grove hill where hordes of “vuilgoed” fortune seekers were scrambling to reach the Johannesburg gold fields.

A faded 1887 map showed a diagonal route North East from Market Square, labelled “Road to Pretoria”. This became the established route (using later names) Hospital Hill, Clarendon Circle – East Avenue – Louis Botha via ‘death bend’ and the famous Orange Grove Hotel (the heir to Lemoenplaats) thus North North East as the Pretoria Road reached Halfway House onto the capital at Pretoria.

This is the historic route of Louis Botha Avenue – Pretoria Road which partly dates from Johannesburg’s beginning and partly pre-dates those beginnings. A key destination was the establishment of Halfway House a decade earlier.

The Main Reef Road, the principal East-West artery after the gold discoveries, which linked the mining towns of the Witwatersrand end to end, entered Johannesburg as Commissioner Street from Jeppestown to Fordsburg. Surprisingly, it may have pre-dated the mining revolution.

A southern East-West track skirted the Witwatersrand hills and traversed the plains between the Witwatersrand and the Klipriviersberg. This was the presumed wagon track used by Meyer on his farm Elandsfontein before the gold discoveries

when he transported his heavy loads of mielies for crushing at Potchefstroom milling ready for the Kimberley Market. A secondary South-North track ran along the continuity of Oxford and Rivonia roads that reached the Boer farms of the northern periphery – if not beyond. The track West of Auckland Park is the rural track below the ridges to the rural landscape through Muldersdrift to pick up the main route Krugersdorp to Pretoria.

### **Terrain of the mind**

*“People have lived in the region as long as there have been people on Earth”*

– The Cambridge History of SA Vol: (2012) – Ed: Carolyn Hamilton, Bernard K Mbenga, Robert Ross (Intro XI)

The Witwatersrand's mainly quartzite ridges are our most momentous architecture. They were home to our first humanness. This is the “primordial landscape” that Hamilton (Ibid) talks about and the view from here confirms the observation of the historian John Stoye that “the world is neither simple or small”. If we turn from the early hominid hand-axe industries 45 minutes west from Johannesburg's 19<sup>th</sup> century industrialization we can retrace our pre-Colonial (including near-Colonial and part-Colonial) past. The occupation of the Witwatersrand ridges – with icy winter winds and frost-belt slopes, patently less favourable for crop production than our mountain horizon of the Magaliesberg – nevertheless provide a key context for our urbanization.

Cattle and cereal farmers with stone kraals occupied the Orange Grove escarpment along the Linksfield and Mountain View terraces with homesteads in the adjacent Bezuidenhout Valley. Along the Northcliff high ground extending westwards. Gros in 1888 photographed village enclosures with veld-grass palisades on the Northcliff slopes.

Nineteenth century visitors to the interior reported the harvests of the ancestral Sotho-Tswana language people of millet, pumpkins, gourds, calabashes, sorghum – even exotic mielies and sugar-cane; enclosure pens for cattle, fat-tailed sheep, goats – nourished on the veld-grasses, supervised by the herd-boys with their calls and strumming instruments.

There was light industry of copper and iron products in the Pilanesberg and iron smelters on the Melville Koppies and at Lone Hill.

Fanuel Motsepe writes that his “family history lays claim to the late stone and iron age Tswana settlement ruins along the Baragwanath Koppies”

There were, too, ancestral stone walled villages thatched with tambotie grass from the vlei together with cattle kraals and sheep folds situated on the summits

and slopes of the Klipriviersberg, dramatically poised, looking northwards to the Witwatersrand hills and towards the Vaal – the old kaGariep - in the south.

Villages were linked with well tramped down trading routes crossing the seasonal spruits on stepping stones such as the significant smooth granite outcrops on the Braamfonteinspruit at Craighall Park, a natural stopping venue with its pools and water-skimmed rocks.

Van Riet Lowe and BD Malan found implements indicating that San people had occupied strategic game-view sites on the Craighall Kopje and such high ground as the Parktown-Westcliff ridges and the Yeoville ridge. Juliet Marais Louw – sister of Eric Rosenthal – remembered the San shelter on the Yeoville ridge from 1914 before the embankments of Stewart Drive down to Doornfontein were constructed. (Marais 1991:2)

### **Modernism in Johannesburg**

Pre-colonial and near colonial residues – from what Jacob Dlamini (Business Day, 2015) has described as complex societies – are essential components of Johannesburg's urbanism.

Nomboniso Gasa (Business Day, 2015) refers to African cultural and customary systems distorted by colonialism but she indicates, too, that a plurality of voices have been part of “the way many African societies build and expand knowledge”.

In this context, it is important to recognize that Modernism is not a Euro-centric construct. It is part of the rich cultural awareness of Africa of the Magreb, of Dogon, of the historic modernism of Japan, of startling music from the Afro-American diasporas in the US, Caribbean and Brazil.

In South Africa during the 20s and 30s and post-war periods – the formative years of Oliver Tambo, Nelson Mandela and Walter Sisulu – many of those engaged with aspects of modernity were not in segregated white suburbia but in the black townships, absorbing new ideas in back rooms by candle-light, listening to jazz music on gramophone records, picking up attitudes, lyrics, riffs from the black diasporas. Part of a continual process of change leading to 1994.

In the same period, small coteries in the white suburbs were identified with the utopian Modern Movement in architecture. There was intermittent awareness between these groups and township intellectuals. A young architect like Kurt Jonas was aware of the need that the new architecture and fundamental social change in South Africa should be complimentary.

## Typologies

### ***Suburban Gables***

Curvilinear gables are suburban Semi-Dutch. They are sometimes referred to as Dutch gables but in fact, the provenance is more complex. Their impulse is essentially part of the Cape Dutch Revival that began with the Baker school and filtered down into suburbia from Edwardian times into the 20s and 30s. Like mock Tudor triangular gables, they form part of the eclectic diversity used by speculative builders, even incorporating Art Nouveau details and other fashionable oddities. In London Osbert Lancaster labelled an associated style Pont Street Dutch – all essentially part of the intricacies that filter down from upper middle class to petit bourgeois suburbia.



Fig. 3 Semi-Dutch gabled houses along Hillbrow Street from 1910-1920s

(Source: tsica heritage consultants, 2015)



Fig. 4 House along St. Georges Street in Yeoville with projecting stoep, triangular half-timbered gable in mock Tudor and English bay windows

(Source: Clive Chipkin Archive)

## ***Pavement Shop Fronts***

In Johannesburg with sharp, sudden downpours and cloudbursts it was necessary to provide shop fronts with covered pavement canopies as protection for shoppers and passing pedestrians.

Four principal categories evolved and were in use throughout Johannesburg's town and suburbs.

### **a) Victorian**

The typical use of roof afdakkies (pavement canopies) supported on cast iron columns and ornamental beam supports. These standardised cast iron components were selected from the pattern books and catalogues of British ironmongers.

"It was mainly the assemblage of cast iron balconies, balustrades and complete verandah fronts which, with their intricate silhouettes, gave Johannesburg its essentially provincial Victorian character." (Aron (ed) 1972: 75)



Fig. 5 Corner shop built in 1905 along 7th Street and 3rd Avenue in Melville, cast iron columns supporting the roof structure  
(Source: Museum Africa)

Alternatively, there was the earlier tradition of machine cut standardised timber products from the saw and scroll mills of the Baltic countries and then the mass production of timberwork from the Pacific areas of Oregon and British Colombia.

### **b) Edwardian & Post-Edwardian 1920s**

Cast iron became rapidly outmoded – and so Victorian – particularly as Baker influence spread. Baker strongly resented imported East Iron applique and sponsored a hand-made site bound architecture using predominantly local materials and skills.

For suburban and city shop-fronts this change of taste sponsored precast classical columns supported by roofing over the pavements. This was to sweep away the colonial Cast Iron verandah front and replace it with a simple and neat white Tuscan colonnade and classical parapet above the main building front.



## 1930s

Where the colonnade was used, now frequently supporting a concrete pavement canopy, the columns were redesigned with Art Deco classical capitals.



Fig. 6 Melville Mansions, 7<sup>th</sup> Street in Melville\_example for reinforced concrete cantilever, for Art Deco buildings slabs were supported on brackets with stepped or rounded edge forms.

(Photograph: tsica heritage consultants, 2010)

But the advancement of reinforced concrete design also meant that the pavement colonnade was no longer necessary to provide vertical end support. This was superseded by the reinforced concrete cantilever. The pavement canopy now comprised a reinforced concrete slab cantilevered off the main building structure. In the case of Art Deco buildings these slabs were supported on brackets with stepped and rounded edge forms.

## 1930s – 1960s

In the case of Modern Movement design, the purism of the reinforced concrete cantilever remained intact without embellishment but elegantly shaped with the mathematical precision inherent in the brilliant structural principles of reinforced concrete design.

Modern Movement thinking became the norm in the post 1945 period but by instinct these architects did not like canopies as disruptive elements. Thus the Carlton Centre buildings are pure forms without the weather protection for pedestrians, until the giant glass roof over the concourse was subsequently erected.

The Carlton Centre also demonstrated building elements set back from the pavement boundary lines so as to create urban space and piazzettes. This avoided the blandness of Johannesburg's high corridor streets on the 1930's.

## Johannesburg Prototypes for the future

Johannesburg has a long tradition of local architecture –

- Some superb
- Some mediocre
- Some bland
- Some pretentious
- Some appalling

There are good examples of climatic and regional architecture, many noticeable projects influenced by our rich African cultural environment; some influenced by a strong response to our local and sub-continental climate; some 'faux feudalism' in the old upper class precincts like Parktown; many seduced by a false Euro-centric identity as in the inappropriate but widespread Tuscan style influenced by a generalized Post Modernism, 1970 – 2000.

We can learn lessons from valuable prototypes for future nodal growth points in order to reinforce and articulate regional style.

Here are some invaluable precedents:

### ***Prototype 1: Wits Student Housing, Junction Avenue – Boundary and Jubilee Roads, Parktown. Architect Planner: Ludwig Hansen 2009.***

Medium to high-density 3 and 4 storey blocks incorporating surviving historical residences which were converted into social facilities. The planning has consistency, urbanity, green-belt space and historical resonance.



Fig. 7 High density 3 & 4 storey blocks with residue historic blocks\_a system of domestic units that creates urbanity, communal space, civic quality and an awareness of history on sensitive topography.

(Drawings: Ludwig Hansen, 2009)

***Prototype 2: African Star Housing – Bellavista Road, Turffontein (1949) by Douglas Cowin.***

I have called this our first *Siedlung*.

The design flair of Douglass Cowin, with elegant, robust three storey row houses and separate semi-detached blocks, with green-belt open space and social facilities, is a planning exemplar.

***Prototype 3: Walkways, Courtyards on Rothesay and Buckingham, Craighall Park by Michael Sutton (1970 – 1979).***

Two storey, compact row houses with private gardens – a perfect example of high density living.

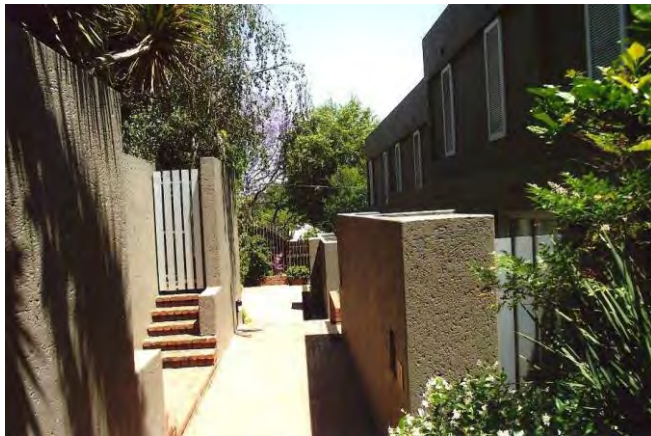


Fig. 8 Walkway courtyards\_two storey compact row houses, Craighall Park, Michael Sutton  
(Photograph: Clive Chipkin)



Fig. 9 Interior view to private enclosed garden, Craighall Park, Michael Sutton  
(Photograph: Clive Chipkin)

***Prototype 4: Yeoville – Bellevue Maisonettes***

Beginning in 1920s but mainly in 1930s **FLATTED MAISONETTES** were developed in Yeoville-Bellevue spreading to other suburbs\_a highly economic, comfortable, high density residential type of 2/3 (even 4) walk-up floors.



During the late 1920s but predominantly in the 1930s a 2 – 3 floor (even 4 floor) walk-up attached housing unit emerged, a Yeoville type that spread to other suburbs. This was a highly efficient and economic type with 2 attached flats per floor creating high density living. There were several iterations. In 1992 Clive Chipkin explored these prototypes and designed a high density housing scheme based on these Yeoville house-types.

This project was examined by Wits Quantity Surveying Department who confirmed unit price was equal to RDP housing types but at 4 – 5 times the population density and with congenial accommodation.



Fig. 10 Mass housing based on Yeoville type flatted maisonette  
(Source: Drawing by Clive Chipkin, 1993)

### ***Prototype 5: Brookwood***

This townhouse complex comprises two storey row houses providing medium-



high density in a green-belt setting with mature trees and private gardens. The open space is more than generous and could be reduced. Habitat, trees, verdure – the Le Corbusier proposition realized.

Fig. 11 Hyde Close, Hyde Park designed by Helmut Stauch 1967  
(Photograph: Clive Chipkin)

### **Prototype 6: Balconies**

We can learn from balcony precedents where they are successful as valuable spatial extensions.

The design flair of Douglass Cowin, with elegant, robust three storey row houses and separate semi-detached blocks, with green-belt open space and social facilities, is a planning exemplar.



Fig. 12 Balconies as plant areas. Bosco Verticale, Milan. Architect: Boeri Studio.  
(Source: Earthworks journal, Issue 24/2015)

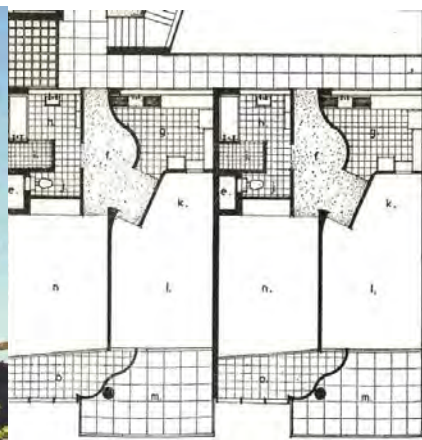


Fig. 13 (Left) University Gate, Braamfontein, 1961 by Clive Chipkin\_large deep balconies with box food planting areas. Projections act as summer sun protection. (left)

Fig. 14 (Right) Reading Court on Louis Botha Avenue, Hillbrow, 1936 by Hanson, Tomkin & Finkelstein. Large balconies with sleeping porch.  
(Source: Clive Chipkin Archive)



## Looking to urban precedents

It is not Euro-centric to examine urban forms elsewhere. London described as “the unique city” by Danish planner Rasmussen, has in over more than four centuries of urbanisation produced countless case studies for mass population housing, many of universal application. The German cultural attaché in London at the beginning of the 20<sup>th</sup> century, Herman Muthesius wrote *Das ‘Englische Haus’* to apply lessons for the fast growing new German cities. Marie Huchzermeyer’s *Tenement Cities* compares 19<sup>th</sup> century Berlin to 20<sup>th</sup> century Nairobi. Compare, learn, digest.

### ***Prototype 7: Myddelton Square London***

So unexceptional are these 2/3/4 storey examples in London’s vast townscape that Pevsner in his *London Guides* makes only brief mention of them. But to South African eyes, used to low density free-standing suburban housing with lack of social focus these examples are exhilarating.

### ***Prototype 8: House Kganakga, Phokeng***

These Highveld vernacular Sotho-Tswana dwellings linked into a spatial framework stir similar yearnings for architectural cohesion



Fig. 15 Kganakga family house\_spotless, immaculate old courts built by the family’s grand-parents in 1930s\_verandahs, rectangular & circular shapes, screen walls establishing habitat, residence, address (also see Fig. 48 and Fig. 49) (Source: Clive Chipkin Archive, May 1963)



Fig. 16 Kganakga family house



Fig. 17 Kganakga family house

## Concept drawing: The Corridors of Freedom



Fig. 18 Concept drawing 15/821  
(Source: Drawn by Clive Chipkin; 2015)

## **Index to Concept Drawing 15/821: Louis Botha Corridor (northwards from Clarendon Circle)**

### **1. Clarendon Circle Zone (Parktown/ Hillbrow)**

This is the historic intersection of two major routes (East-West Empire-Perth route, North East Louis Botha corridor) with just sufficient remnants to recall its unrealised attempts at civic order and tour d'horizon.

- 1.1 Twist Street and Paul Nel streets are principal entry points into Hillbrow
- 1.2 The crossing of Banket and Paul Nel reveals the essence of the Hillbrow Vernacular. Hermanna Court is an iconic building of international importance
- 1.3 Palmer Place (West side) with St. Mary's-on-Limpopo
- 1.4 Circle Court: key Art deco Foyer
- 1.5 Majestic Mansions
- 1.6 Park Lane: adjacent to the Clarendon Circle hub



Fig. 19 & Fig. 20 Clarendon Circle – a hub of 1920s and 1930s blocks of flats. Majestic Mansions and Parktown Mansions are gone but Circle Court (1936), the essence of Clarendon Circle, remains. The Art Deco sub-theme reaches its full expression in an entrance foyer that is an Art Deco exemplar.

(Photograph: Clive Chipkin)



Fig. 21 Art Deco block on Louis Botha Avenue, on the east edge of Clarendon Circle.

(Photograph: Clive Chipkin)





Fig. 22 Park Lane\_Lyndon Hall\_1930s block of flats with authentic Art Deco flair. The period feel of the entrance name says it all with the strong impulse to be Deco modern. Secluded Park Land and Princess Place are behind the street frontage of the Louis Botha-Empire Road axis\_once a residential enclave. (Photograph: Clive Chipkin)



Fig. 23 Park Lane\_Victorian colonial residence with perimeter verandah and steep corrugated iron roofing. Once a prominent double storey landmark off the old wagon road to Pretoria, via Halfway House (Photograph: Clive Chipkin)

## 2. Architectural Enclave on Curve (Hillbrow/ Berea/ Houghton)

One of the best illustrations of Johannesburg architectural virtuosity:

- 1.7 Royal Crescent
- 1.8 Reading Court
- 1.9 Ridgeview Mansions
- 1.10 Clarendon Court
- 1.11 Fire Station
- 1.12 Victorian Terrace Housing (Banket Street)
- 1.13 Chapmans Peak (1 Mitchell Street)

These seven complexes, on or adjacent to the Louis Botha curve together raise the question of the mentality of 20<sup>th</sup> century architecture. I would call this a world heritage site with a beguiling concentration of sequential architecture 1910 – 1960.

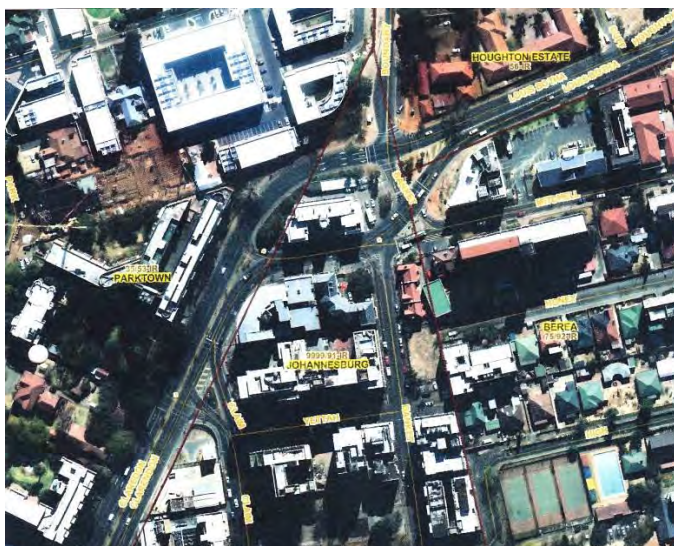


Fig. 24 Louis Botha Corridor\_Clarendon Place beads into Louis Botha Avenue\_Fire station precinct consists of Royal Crescent, Reading Court, Ridgeview Mansions, Clarendon Court, Berea Fire Station, Victorian Terrace, Curvilinear Le Roith flat block (Source: GIS map, City of Johannesburg)



Fig. 25 & Fig. 26 Berea Fire Station 1910; adjacent architecture with reference to Victorian terraces of a decade earlier (Photographs: Clive Chipkin)





Fig. 27 Clarendon Circle 1938: Circle Court (LH); Bus shelter; Majestic Mansions (RH); Trolley Busses; Empire Exhibition; Street lighting (Source: Museum Africa)



Fig. 28 Ridge View Corner Banket Street (left); Reading Court (right), Ridge View is a setback flat block from the 1920's which creates a memorable urban space (Photograph: Clive Chipkin)



Fig. 29 Royal Crescent (right) on the curve; Reading Court (left) which is a major example of a Modern Movement building, restoration work is needed (Photograph: Clive Chipkin)

### 3. Hillbrow Overview

Hillbrow, originally a low-density residential suburb mainly of separate garden houses; with 20s and 30s blocks of flats along or adjacent to the tram route, was converted in the immediate post-war period into a “high-rise, high density laissez-faire apartment zone”, seemingly overnight in the Johannesburg manner. When the architectural historian, Nicholas Pevsner visited this area in 1952 the new architecture was “extraordinarily consistent in its use of modern idiom”. He came up with the description “The Hillbrow Vernacular”.

Principal entry points into Hillbrow from the Louis Botha – East Avenue corridor are via the Banket Street, Paul Nel and Bruce Street portals.

Among the highest concentrations of buildings – the very essence of the vernacular – occur at the intersections of Banket and Paul Nel or Banket and Bruce. At the entrance to Bruce: Groot Drakenstein (1952), Clarendon Heights (1950). At the corners of Banket and Paul Nel: Stamford Hall (1948), Westbrook, Los Angeles – large blocks with evidence of the pilot of the Modern Movement.

Close-by is Plettenburg – an archetype example of the post-war style.

A classic Hillbrow block recognized as of international significance is Hermanna Court (1947) by the architects Cowin and Ellis, situated at the corner of Paul Nel and Claim, directly opposite the first Reform Synagogue referred to previously.

A visit to Hillbrow in 2015 creates 2 impressions:

Firstly, the embarrassment of street facing, west orientated window wall blocks in the most awful state of disrepair; secondly, the surprise of how many building representatives of the Hillbrow Vernacular have stood the test of time. Many of these Hillbrow prototypes have stood up to extreme dilapidation, stressful overcrowding, wear-and-tear over six and seven decades. They have ubiquitous face-brick cladding, sensible windows, robust detailing, rational planning with sun-trap balconies. All need major repairs and complete replacement of services but this may be achieved at half the costs of new buildings plus demolition of old.

- The Fire Station precinct at the north end of Banket Street (off Louis Botha) is described above
- East side of the Louis Botha – East Avenue corridor has some noteworthy examples of Johannesburg Architecture
- Sunny Ridge on Yettah Street is a residential block by H.H. Le Roith, an early 1960s block linked to modernism but demonstrating the waning of the Hillbrow Vernacular
- Both Royal Crescent on the Louis Botha corner curve – a work by Kallenbach, Kennedy & Furner (described as part of the Fire Station precinct) & King’s



Langley, a large block on the Paul Nel Street corner are 1930s examples of cautious modernism

- At the corner of Paul Nel and Claim is the first Reform Synagogue opened in 1936 and designed by Kallenbach, Kennedy and Furner, modern in moderation with Art Deco infiltrations.

#### 4. High Ground View Site Over Valley

Stone retaining wall creates this momentary spectacle. The bus shelter is intrinsic to wall.

Edwardian boarding house/residential hotel. During the war this was requisitioned for families of servicemen up north.

Intersection of Louis Botha and Bedford Road (the old tram terminus) forms a natural organic growth point of demographic significance.

Adjacent to a rich cultural and social infrastructure this is a key nodal point for high density mixed development with green belt views. e.g. street blocks between St. Georges and Dunbar: near major schools, major church establishments, libraries and sports facilities.

Suitable for four floor apartment blocks with five levels if duplex placed on upper level.



Fig. 30 Yeoville terminus node intersection of Louis Botha Avenue and Bedford Road. Medium to high density node (Source: GIS map, City of Johannesburg)

## **5. Louis Botha Bend (Houghton)**

Where the original wagon road from Pretoria via Halfway House turned away from the cliff face of the Orange Grove escarpment at Lemoenplaats and ramped up to the Yeoville plateau. This was the route taken by the “vuilgoed fortuinsoekers” (‘dirty’ fortune seekers) swarming to the new goldfields (Chipkin, C. 1993:7).

A British blockhouse on the high ground commanded the Lemoenplaats route.

In the 1930s a luxury apartment cluster was developed in this area prompted partly by the nearby position of the up-market Houghton Golf Course. This included the major blocks Lauriston Court, Roxdale, Houghton Heights and in the 1950s by North Berwick. Above the golf course is the damaged, un-occupied kopje where a high quality apartment block could be developed.

## **6. Orange Grove**

A neat 1930s middle class suburb with some important landmarks such as the Methodist centre. West of Louis Botha is Sixth Street. The urban character is enhanced by street frontage greenery. Sixth Street begins with single storey early 20<sup>th</sup> century terrace houses and four neighbouring houses altered by the architect Mira Fassler Kamstra with urban flair.

The Radium Beer Hall (1929) at the corner of Louis Botha and Ninth Street is a noted landmark – an old colonial pub with its long counter – except we call it Bar-Kroeg, hard drinking without femininity.

## **7. Maryvale/ Rouxville/ Hawkins Estate**

This is a key historic Catholic enclave with the important post war church of Our Lady of the Wayside.

- 7.1. Harrock Heights (1950) by HH Le Roith – an example of post-war street architecture with urbanity (Rouxville)
- 7.2. The Doll House on Louis Botha – one in Johannesburg and one in Durban: a US style roadhouse with American milkshakes, chocolate malted, hot dogs with chips and vinegar; trays clipped onto half open car windows. The neon sign read, ‘Flick Lights for Service’. Cute romanticism and drive-in venue for the US style automobile age. (Hawkins Estate)

## **8. Orchards Area**

**The Kraal** (Satyagraha House) in Pine Street is the house occupied by MK Gandhi and designed by Hermann Kallenbach. Reinstated with additions by the architect Rocco Bosman – a major example of historical empathy and clarity.

## **9. Balfour Park & Randjeslaagte**

Sculptured relief is by Edoardo Villa. The centre established the importance of this crossroad. Opposite is Randjeslaagte village, an exemplar of social housing and care centre.



## 10. Savoy Square/ Bramley

Capri Hotel and a natural high-density future nodal point.

Bramley House at No. 2 Forrest Road for the émigré sculptor Ernest Ullmann by the émigré Bauhaus architect Steffen Ahrends (late 1930's).

## 11. Alexandra

This is a well-documented poverty area. The area indicated is a natural interaction zone with the Sandton tax base to envisage condominium planning to take Alexandra out of the box.

Extensive research in *Changing Space, Changing City: Johannesburg After Apartheid*, (Todes et al. 2014; see p.342 onwards).

Proclaimed in 1912 – thus preceding the 1913 Land Act – for African and Coloured occupation. This is the origin of the new class of Black property owners that later so antagonized the Apartheid authorities.

The Alexandra Renewal Project (ARP) dates from December 2001 and Harrison et al (ibid) describes this as the largest area-based development project in South Africa, involved in de-densification as well as expansion across the flood plain of the Jukskei stream to the East Bank and Far East Bank.

Clearly, like Kliptown, there is evidence of a clash of interest between State, Province and City.

The authors – Philip Harrison, Adrian Masson and Luke Sinwell – come to the very strong conclusion that the "planning is not informed by deep analysis".

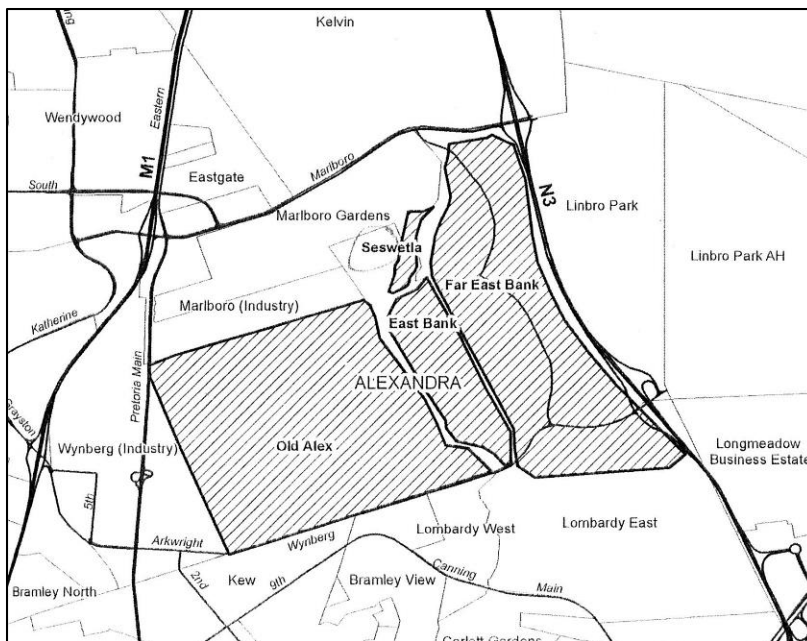


Fig. 31 Alexandra and its component parts, 2010.  
(Source: Harrison, Masson and Sinwell, p.349)

The ARP has however assisted in bringing to light the social and political history of one of South Africa's oldest townships. (See Bonner, P & Nieftagodien, N. 2008)

## **Index to Concept Drawing 15/821: Empire-Perth Corridor (westwards from Clarendon Circle (number 1))**

### **2. Series of architectural precincts (Parktown)**

- 2.1 Queensgate on the corner of Empire and Queens roads is a significant post-war apartment block.
- 2.2 Princess Place – a sequence of post-war apartment blocks, which provide precedents for high-density living adjacent to garden space in the Le Corbusier philosophical tradition. The entire precinct is of great importance.



Fig. 32 Princess Place indicated in green\_high density apartment block. Precinct with green-belt and private gardens  
(Source: GIS map, City of Johannesburg)





Fig. 33 Princess Place precinct: a superb high density urban environment close to city life  
(Photograph: Clive Chipkin)



Fig. 34, Fig. 35 & Fig. 36 Generally 5 floors (including ground floor parking) with Princess Towers setback for eight floors  
(Photographs: Clive Chipkin)





Fig. 37 & Fig. 38 Princess Place: the large apartment blocks, generally 4-5 storeys high, including ground floor parking have large internal green-belt gardens behind the street façades. Photos show mature trees lining the private garden as seen from Phoenix Place.

(Photographs: Clive Chipkin)



### 3. WITS (East Campus & West Campus)

Besides being a historic centre of international learning there is an amazing depth of architectural types – many of international significance. The history of 20th century architecture can be studied here by analysing the extant standing examples and reading the ideological drives in the library collections.

### 4. Parktown & Westcliff

Suburbs that encapsulate Johannesburg's Big Houses in English Garden Suburb layouts. These were the properties of the owners of the means of gold production – romanticized in many histories as 'The Randlords'. Many houses in these exclusive reserves, designed for the rich, look over vast panoramic views of the African sub-continent (Aron & Benjamin, 1973:53).





Fig. 39 Interior of a Parktown Great House, Dolobran, in its heyday. Art Nouveau Fanlight\_part of the “faux feudalism” on the Parktown Ridge 1892-1930  
(Photograph: Clive Chipkin Archive)

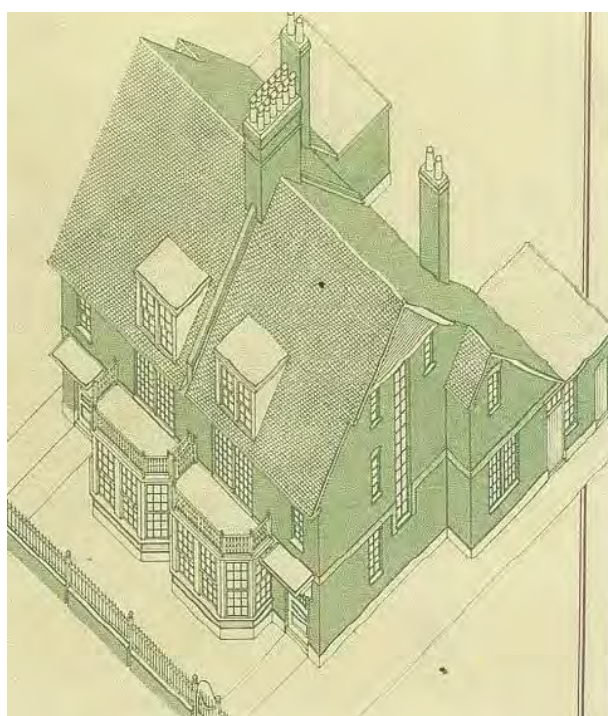


Fig. 40 Bedford Park, London (1875-1886)  
\_prototype for Colonial Garden Suburbs  
(Photograph: Clive Chipkin Archive)



Fig. 41 Parktown, 1892 in its heyday. Bedford Lodge 1912\_outside main gate. Loewenstein family in their new Talbot  
(Photograph: Clive Chipkin Archive)

## 5. SABC Campus precinct

Once a centre of Apartheid ideology and also Apartheid's attempt to project the Image of a modern state. The growth of Melville's café-society is explained by the presence of a large number of intellectuals working at the SABC and RAU (the fore-runner of UJ).

The old Gasworks site is a huge example of dramatic industrial archaeology of the period when Britain was still the workshop of the world.

## 6. University of Johannesburg

This highly significant campus in Auckland Park was created as a single project over the period 1969 – 1975. The design was by Wilhelm Meyer and Partners, heavily influenced by the practice's mentor, Louis Kahn in Philadelphia. A major centre of learning and architecture.

## 7. Western Areas

All the urban forms in these areas are the constructs of the old pre-democratic South Africa – from the old white working class suburb of Westdene to the rigidly segregated townships of what in the 1950s were called the Western Areas comprising Western Native Township, Newclare and Martindale. The extraordinary history of Sophiatown is summarized in the name changes: Sophiatown – Triomf – Sophiatown. This area is overwhelmingly important in Johannesburg's urban history.

## 8. Sophiatown-Triomf- Sophiatown

The WESTERN AREAS on the Johannesburg periphery comprised Sophiatown, Martindale, Newclare and further south, Klipspruit – all areas adjacent to sewage sites.

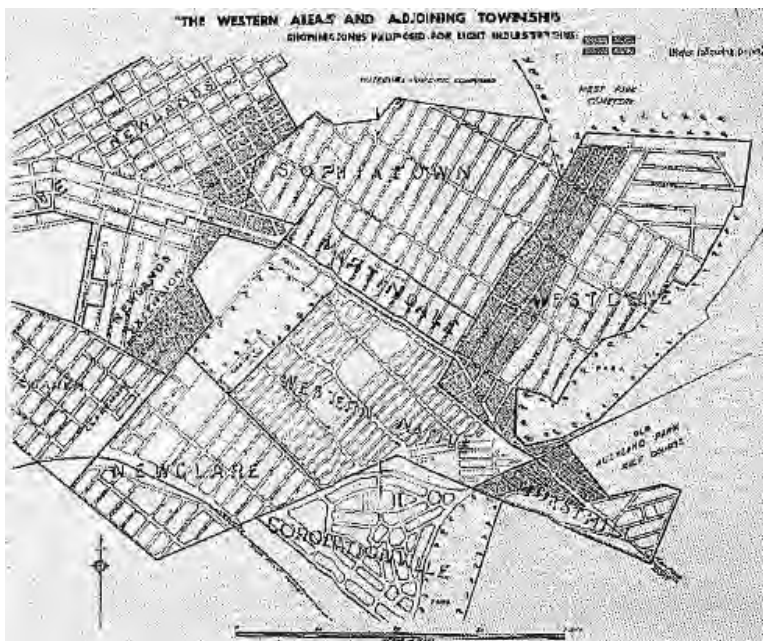


Fig. 42 The western areas and adjoining townships  
(Source: Chipkin, C, Johannesburg Style 1993, p. 201)

The artist Gerard Sekoto arrived in Sophiatown in 1939 and his paintings do not show the subsequent over-crowding.

By the time writers like Casey Motsisi and Can Themba were writing in the post-war era Sophiatown, in Casey's words, was "always ticking – a time bomb area", grossly overcrowded with secret shanty booze-joints rich with jazz groups, literary culture, artists like Feni, Sithole, Matsoso, jazz at the Odin Cinema in Good Street, musicians like Dollar Brand, Kippie Moeketsi, Hugh Masekela.

Forced removals moved people to Meadowlands. By 1963 Sophiatown was a white area named Triomf.

## **Index to Concept Drawing 15/821: Turffontein Corridor (southwards from historic CBD)**

### **1. Old South**

The major Southern routes are summarized below:

- 1.1. The Sauer Street – Booysens Road Route. The South to South West route has been absorbed into the M1 motorway beyond Xavier Street
- 1.2. Eloff Street Extension was a natural addition leading southwards to the new suburb of Turffontein dominated by the large open space of the Turffontein Race Course. This route splits to accommodate the east and west boundaries of the racetrack
- 1.3. The route of von Weilligh Street and its southern extension was defined by active mining operations and the east perimeter of the Turffontein Race Course

It is the intersection at the South East corner of the Race Course, which became the nerve centre of the southern suburbs with the new suburb of Rosettenville occupying a crucial position to create one of those untidy traffic nubs that are typical of 19th century industrial cities.

This historic intersection forms a natural node for future developments. The general area has a busy urban layout with several important buildings to take note of.

We see this in a time of growth as the centre of a large Southern Node, the counterpart to the Northern Node at Sandton. Population and income levels will determine the future of what is essentially a geographically favourable area.

The core historic suburbs of La Rochelle and Regents Park will inevitably form part of the above nodal development. One day, we conclude, the economic benefits and financial possibilities of these urban areas will be discovered. When

Johannesburg's population reaches 10 million this will be an area of fundamental importance.



Fig. 43 La Rochelle\_hipped roof houses with stoeps facing street, disregarding climate orientation. There is no tradition of atriums or courts\_only small, separate rectangular houses placed in the middle of the stand  
(Source: GIS map, City of Johannesburg)

In summary:

La Rochelle: with the idiomatic hip-roofed rectangular houses; with parks and urban open spaces; with surviving Victorian verandah houses and Catholic institutions as landmarks and Lusophone cultural atmosphere that enriches urban life.

Regents Park: with crowded lower income entry-level houses (comparable to Soweto) with extensive open parks which are an invaluable resource.

An area with distinct possibilities. The presence of Forest High School provides distinctiveness to the area with post-Edwardian civic architecture. Some Victorian residue houses in the neighbourhood could contribute social amenities to new development.

To the west of Bellavista Road, near a residue slimes dam, is a housing estate for ex-servicemen in 1946. Its original name was Africa Star – a large complex with communal facilities. It is our first and only *Siedlung*, a term derived from pre-Hitler Germany. African Star presents itself as a prototype for purposeful new housing solutions in this area.

## 2. New South

Mondeor and Robertsham are post-war suburban developments dating from 1948. Similarly Linmeyer was laid out in 1948 but like its neighbouring suburb of Oakdene these rising middle-class suburbs are principally late 1950s and 1960s



developments on southern slopes below the South Rand Road. Johan Meyer Street, for example offers incredible views southwards towards the Klipriviersberg.

The higher property value suburbs of RIDGEWAY, MEREDALE, GLENVISTA, MULBARTON, BASSONIA began as 1970's speculative developments laid out by property investment companies like Corlett Drive Estates which after a spectacular rise on the curve of the property boom c. 1970 subsequently ended with a spectacular crash. Suburbs with Glen prefixes were products of Glen Anil Estates which became a household name in the 60s and 70s but ended in the same way.

These suburbs which "traverse the slopes of the Klipriviersberg" form the core of what Phillip Harrison & Tanya Zack have called the NEW SOUTH, mainly the product of the "25 township establishments in the 1970's" (Harrison & Zack, 2014).

## **Appendix B\_Digitised map with heritage significant sites within Turffontein precinct and Excel spreadsheet**

