

## 7.5 Identified sites of significance\_Residential buildings within Turffontein (Semi-detached, freestanding)

### Introduction

Residential buildings are buildings that are generally used for residential purposes or have been zoned for residential usage. It must be noted the majority of residences are over 60 years, it was therefore imperative for detailed visual study to be done where the most significant buildings were mapped out. Their significance could be as a result of them being associated to prominent figures, association with special events, design patterns of a certain period in history, rarity or part of an important architectural school. Most of the sites identified in this category are of importance in their local contexts and are representative of the historical and cultural patterns that could be discerned from the built environment. All the identified sites were given a 3A category explained below.

### Grading

3A\_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B\_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C\_Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

### Summary Table of identified sites in the residential category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
986	Corrugated iron house, rare and unique house only two left in the suburb	3A	Conservation highly recommended if any changes there should be highly sensitive to building
RE/17 00	Corrugated iron house, rare and unique house only two left in the suburb	3A	Conservation highly recommended if any changes there should be highly sensitive to building
1924	Residential Court	3A	Conservation highly recommended if any changes there should be highly sensitive to building
933	Residential Flat	3C	Possible major changes, documentation necessary
1746	Residential row housing	3A	Conservation highly recommended if any

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Site/ Stand No.	Description	Provisional Grading	Heritage Implications
			changes there should be highly sensitive to building
684	Residence with turret from 1890, the only one in the suburb	3A	Conservation highly recommended if any changes there should be highly sensitive to building
1069	Victorian residential house	3A	Conservation highly recommended if any changes there should be highly sensitive to building
611	Residence with corner front stoep	3A	Conservation highly recommended if any changes there should be highly sensitive to building
378	Residence with corner stoep	3A	Conservation highly recommended if any changes there should be highly sensitive to building
399	Semi-detached residence	3A	Conservation highly recommended if any changes there should be highly sensitive to building
1648	Residence with front stoep	3C	Possible major changes, documentation necessary
193	Residence with covered entrance	3C	Possible major changes, documentation necessary
192	Semi-detached residence with side entrance	3C	Possible major changes, documentation necessary

### 7.5.1. Rare corrugated iron house\_Stand 986

Address	129 Kennedy Street
Stand No.	986
Current Zoning	Residential 4
Year of erection	Circa 1890s
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)its importance in the community, or pattern of South Africa's history; (b)Historical fabric is mostly intact (c) fabric dates to the origins of the suburb and illustrates the origins of a place
Proposed SAHRA Grading	3A
<b>Site Description</b> Original iron rectangular house with corrugated iron pitched roof facing verandah. Corrugated iron wall with mock Victorian lace probably added later. Corrugated iron was the most suitable building material at the time, it was cheap, weather friendly and it could easily be dismantled and transported by cart. Most corrugated iron houses were skeleton wooden frame clad with corrugated iron on the outside and depending on the affordability of the owner interior wooden frames on the inside. If the owner could not afford it the inside would be left unclad.	

### Locality map



Fig. 136 Stand is located along the northern side of Kennedy Street  
(Source: City Council of Johannesburg, GIS map)

### No original plans were sourced!

## Identifying Images



Fig. 137 Original corrugated iron clad house  
(Source: tsica heritage consultants, 2015)



Fig. 138 Original corrugated iron clad house  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> The building is a rare, unique example of a well conserved corrugated iron clad house in the area it therefore recommended that new buildings do not detract, overpower or it is therefore recommended maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique two remain in the suburb</p> <p>Cultural, historical, architectural, aesthetic and social significance of the site</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site

- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.2. Rare corrugated iron house\_RE/1700

Address	69 Von Brandis Street
Stand No.	RE/1700
Current Zoning	Residential 4
Year of erection	Circa 1890s
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)its importance in the community, or pattern of South Africa's history; (b)Historical fabric is mostly intact (c) fabric dates to the origins of the suburb and illustrates the origins of a place
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Original iron rectangular house with corrugated iron pitched roof facing verandah. Corrugated iron wall with mock Victorian lace probably added later. Corrugated iron was the most suitable building material at the time, it was cheap, weather friendly and it could easily be dismantled and transported by cart. Most corrugated iron houses were skeleton wooden frame clad with corrugated iron on the outside and depending on the affordability of the owner interior wooden frames on the inside. If the owner could not afford it the inside would be left unclad.</p>	

### Locality map



Fig. 139 Stand is located along Von Brandis Street off Rotunda Park (Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**



## Identifying Images



Fig. 140 Original corrugated iron clad house  
(Source: tsica heritage consultants, 2015)



Fig. 141 Side elevation corrugated iron clad house  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (160-300dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> The building is a rare, unique example of a well conserved corrugated iron clad house in the area it therefore recommended that new buildings do not detract, overpower or it is therefore recommended maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.</p>
<p><b>Social Cluster Development</b> Social cluster development is in near vicinity of the site</p>	<p><b>Recommendations</b> Social cluster development is in the vicinity of the site this could be used as an opportunity for including the site as a local tourist destination.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique two remain in the suburb</p> <p>Cultural, historical, architectural, aesthetic and social significance of the site</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site

- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.3. Row of residences\_Stand 548

Address	177 Bertha Street
Stand No.	548
Current Zoning	Residential 4
Year of erection	1924
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Three row houses separated by parapet fire walls timber windows including pot hall windows as a decorative element, they show similarities to houses designed by Nelly Edwards in Yeoville. The houses still have the original fitting like the wooden doors and windows.</p>	

### Locality map



Fig. 142 Stand is located along Bertha and Moffat Streets  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 548

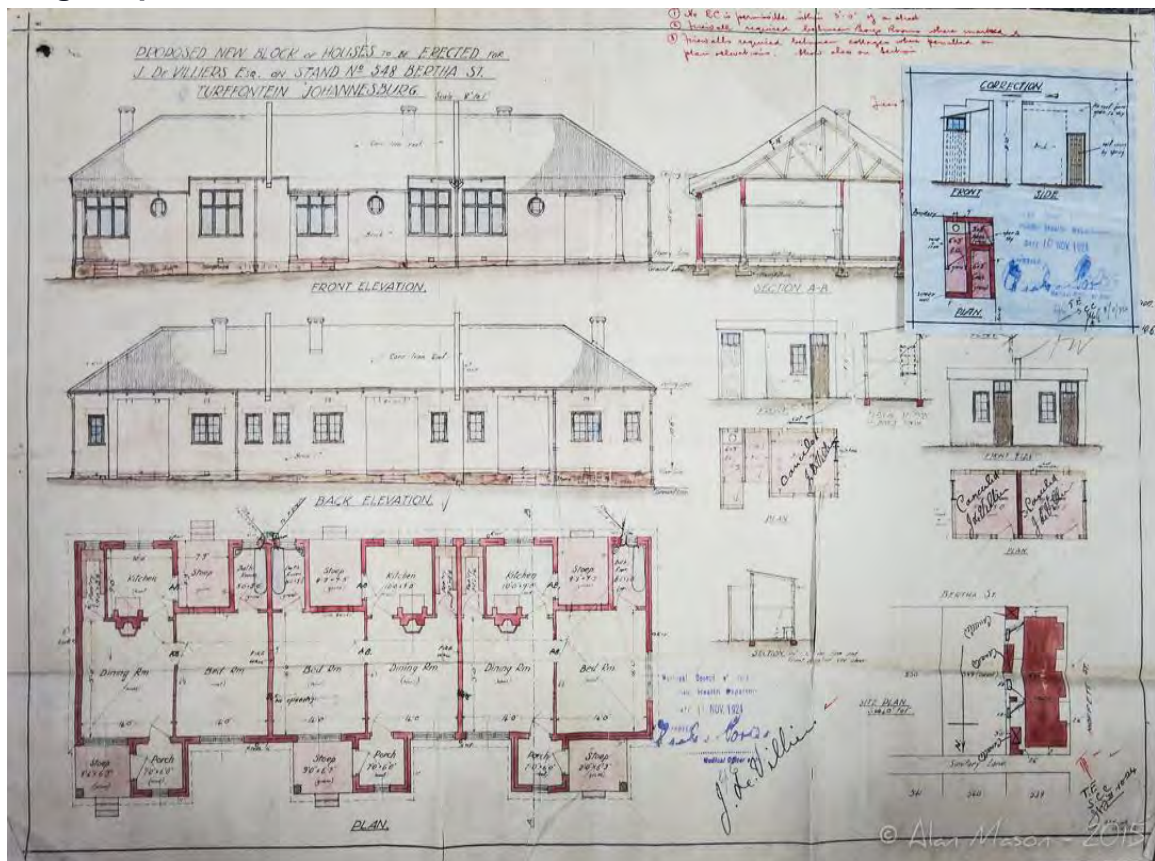


Fig. 143 Original plan from 1924 for row houses  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 144 Face brick row housing front façade facing Bertha Street  
(Source: tsica heritage consultants, 2015)



Fig. 145 Zoom in showing some of the details of the houses  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

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## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique and a few remain in the suburb</p> <p>This typology of row housing can be found in other suburbs but its only one of its kind in Turffontein</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

#### 7.5.4. Row of residences\_Stand 933

Address	90 De Villiers Street
Stand No.	933
Current Zoning	Residential 4
Year of erection	Circa 1920
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Six row houses separated by parapet fire walls with later added arches. Roof has been replaced. Row housing was a subtype in Turffontein but few of them remain.	

#### Locality map



Fig. 146 Stands are located along De Villiers Street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 147 Row housing front façade facing De Villiers Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to High (160- dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique a few remain in the suburb</p> <p>This typology of row housing can be found in other suburbs but its only one of its kind in Turffontein</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.5. Row Housing\_Stand 1746; 1/1746

Address	46 Biccard Street
Stand No.	1746; 1/1746
Current Zoning	Residential 4
Year of erection	Circa 1920
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
Three row houses separated by parapet fire walls with precast columns supporting the front facing stoep. Roof has been replaced but the original wooden doors are still intact. Row housing was a subtype in Turffontein but few of them remain.	

### Locality map



Fig. 148 Stand is located along the southern side of Biccard Street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**



## Identifying Image



Fig. 149 Row housing front façade facing Biccard Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

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## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique two remain in the suburb</p> <p>This typology of row housing can be found in other suburbs but its only one of its kind in Turffontein</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
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- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

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- Create a mechanism for carrying out regular maintenance
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### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.6. Turret House\_Stand 684

Address	107 Fraser Street
Stand No.	684
Current Zoning	Residential 4
Year of erection	1890
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(c) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>The house is a Victorian conical turret house that was upgraded in the 1930s and now has value in the community as the only turret house that remains in Turffontein formerly known as Casey's township. The plans of the house clearly show an attempt to gentrify the suburb a plan that was later abandoned due to the proximity to mines. Plans of the house also show a coach house which still exists in its original form though the roofing and the doors have been changed. However, the corrugated iron cladding remains.</p>	

### Locality map

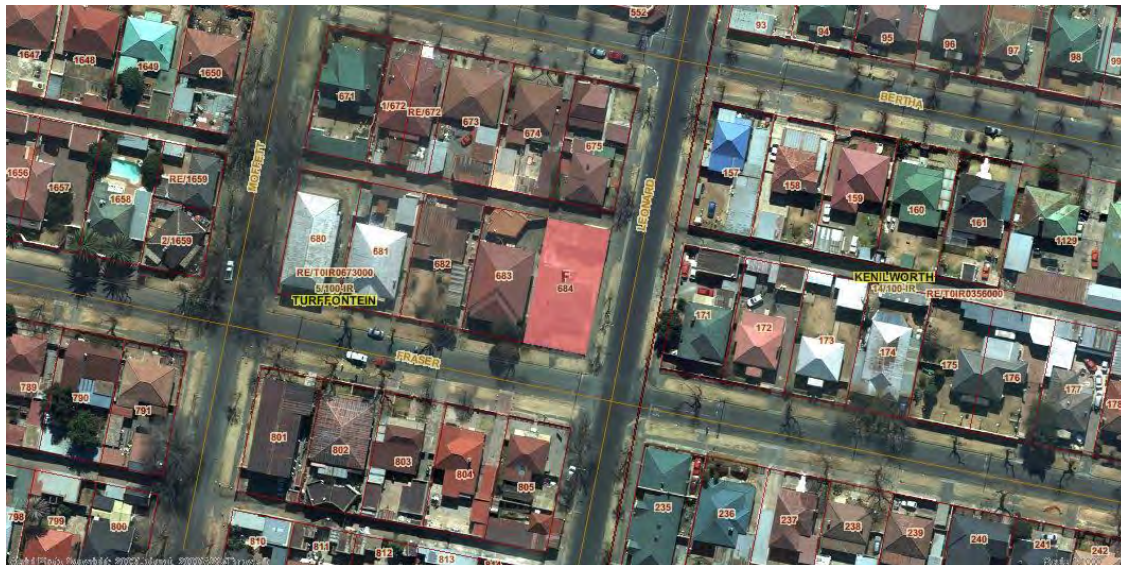


Fig. 150 Stand is located corner Fraser and Leonard Streets  
(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 684

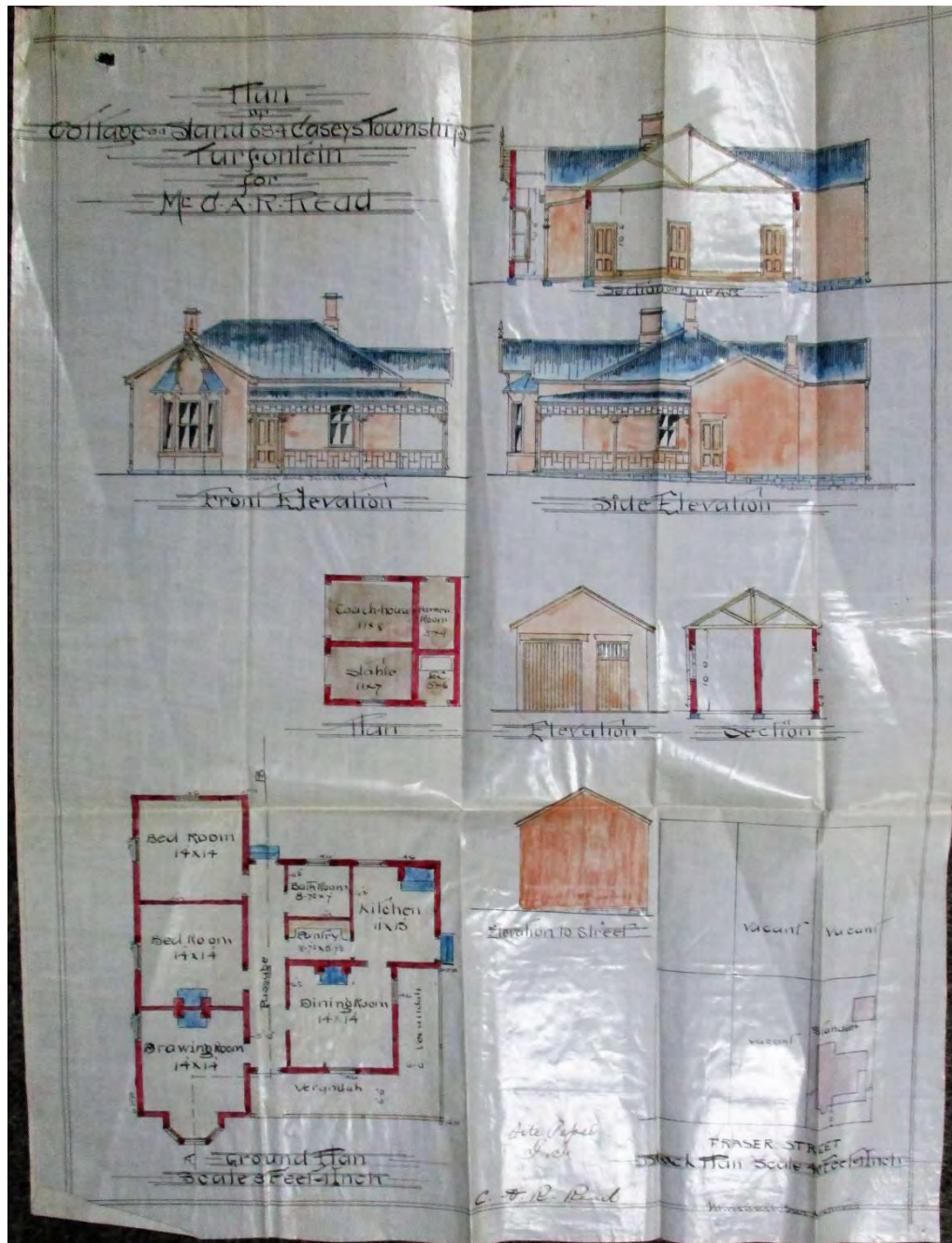


Fig. 151 Original plan showing the main house and the coach house which is still intact in original corrugated iron cladding (Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 152 Face brick row housing front façade facing Leonard Street  
(Source: tsica heritage consultants, 2015)



Fig. 153 Original coach house in corrugated iron cladding  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The residence is the only turret house in the suburb with a corrugated iron clad original coach house. It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.</p>
<p><b>Social Cluster Development</b> No social cluster development is earmarked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the only that remains in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric

- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.7. Residence with corner stoep\_Stand 304

Address	175 Donnelly Street
Stand No.	304
Current Zoning	Residential 4
Year of erection	1911
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>The house another example of a Victorian house with a verandah supported on precast columns, the roof gutters have cut out decorations of cast iron brackets derived from the east by the British which also show a transitional style between Victorian and Edwardian influenced styles. The decorations can also be seen on the original plan. The original plan also shows a cow shed at the back of the property showing that keeping animals on the property was a widely accepted practice at the time.</p>	

### Locality map



Fig. 154 Stand is located on the cnr of Donnelly and Leonard Streets  
(Source: City Council of Johannesburg, GIS map)

# Original plan for Stand 304

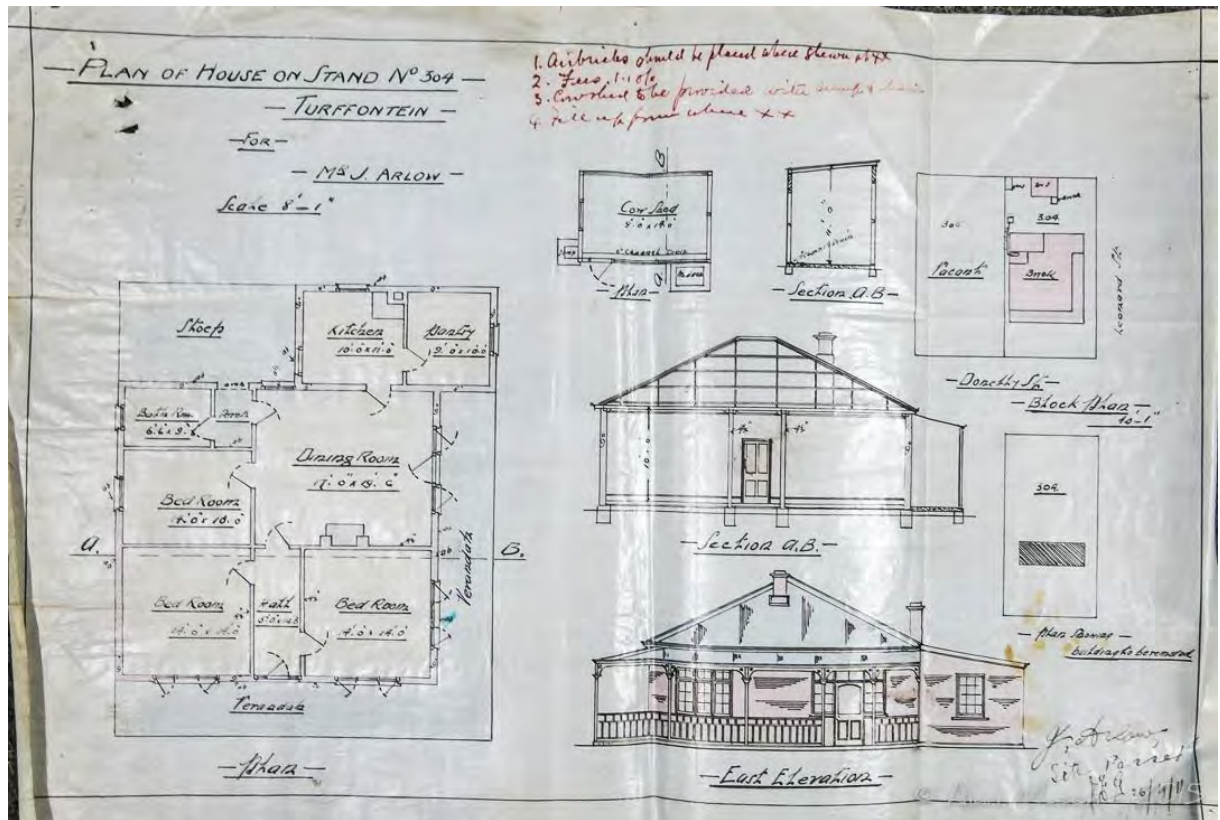


Fig. 155 Original plan shows floor plan, section and elevation (Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 156 Front façade towards Donnelly Street  
(Source: tsica heritage consultants, 2015)



Fig. 157 Original precast columns supporting the verandah are still intact  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Site is atypical example of a Victorian residence. It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not Applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique two remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric

- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation



### 7.5.8. Victorian residence\_Stand 1069

Address	62 Tully Road
Stand No.	1069
Current Zoning	Residential 4
Year of erection	1911
Architect	B.P. Marshall
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Victorian house with triangular wooden gables that could have been imported from Baltic or Scandinavian countries. The side stoep is supported by precast columns with a curved panned corrugated iron. The house is in a bad state or repair but almost all fittings are still original, few house of this nature still exist in the suburb in their pristine. This house is worthy of preservation and restoration.</p>	

### Locality map



Fig. 158 Stand is located along Tully Street  
(Source: City Council of Johannesburg, GIS map)

### Original plan could not be sourced!

# Approval of plans of buildings

**APPLICATION FOR  
APPROVAL OF PLANS OF BUILDINGS.**

**Engineer's Department.**

Johannesburg, 18<sup>th</sup> Sept 1905

To the Town Engineer,  
Johannesburg Municipality.

I herewith beg to submit Plans, Sections and Elevations for a New Building (New Building, Alteration or Addition) A Cottage and appurtenances under the Domestic Class (Insert whether of Public Building, Warehouse, Office or Domestic Building Class.)

Class to be erected by me on Stand No. 1069 Insufficiency Township, such stand having frontage to Sully Street; and also submit the following proposed means of construction and other particulars:—

External Walls to be built of Brick If Brick, state quality Best Paint Slops  
Internal Walls to be built of Brick If Brick, state quality Best  
Stairs—Width of Going or Tread 11 in Height of Riser 6 in  
Mortar in Walls to be composed of Sand and Lime  
Damp Course to be of Not  
Foundations to be of Lime Mortar composed of Sand and Lime  
Roof to be covered with Organic  
Height of Floor above Street 4 feet  
(Floors of Stables and Closets are to be of impervious material—to be coloured grey on plans.)

Scantlings of Timber:—

	Inches	Inches	Inches
Ground Floor Joists	4 1/2	1 1/2	spaced 16" apart.
First Floor Joists			spaced 16" apart.
Other Floors			spaced 16" apart.
Roof Ceiling Joists	4 1/2	1 1/2	spaced 26" apart.
Roof Rafter	4 1/2	1 1/2	spaced 60" apart.

Means of Water Supply Approved  
Sanitary Arrangements Approved  
(If Urinals, describe construction; or bath, how water is disposed of; or Closet, what system) Bath into a half tank

Habitable Rooms.—Will the Window Space be at least 1/10th area of floor? Yes  
Will there be Gutters and Down Pipes on Roof? Yes  
(Describe method of carrying Rain-water from Building.) by channel into street

Closets.—Will each be provided with at least 2 sq. ft. of light and ventilation? Yes

Architect (if any) Marshall  
Address of ditto 1111 1/2 St. Johannesburg  
(Signature of Owner) Annie Reggat  
P.O. Address of Owner P.O. Box 4389 (4389)

**OWNER IS ALSO TO SIGN PLANS.**

NOTE.—Extra Particulars are to be furnished in regard to Public Buildings, High Buildings, and Fire-proof Structures.

[P.T.O.]

© Alan Wilson 2015

Fig. 159 Original plan could not be sourced only the application of approval form which shows the date of construction as 1905 (Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 160 Front façade showing the bad state of repair  
(Source: tsica heritage consultants, 2015)



Fig. 161 Zoom in on the details of the decorative aspects  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The residence is the only of its type in the suburb I though in a bad state of repair. It also shows unique architectural elements in its design. It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the only that remains in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p> <p>The building is in a bad state of repair</p>
Risk/ Threat	<p>The site is located in an area of high density development and It may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site

- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.9. Residence with front stoep\_Stand 976

Address	98 Ferreira Street
Stand No.	976
Current Zoning	Residential 4
Year of erection	Circa 1900s
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Colonial house with a most certain attempt at completeness as shown by the verandah that almost circles the whole house. The house has corner splayed gables and a central door. It is well preserved and has most original feature still intact.</p>	

### Locality map

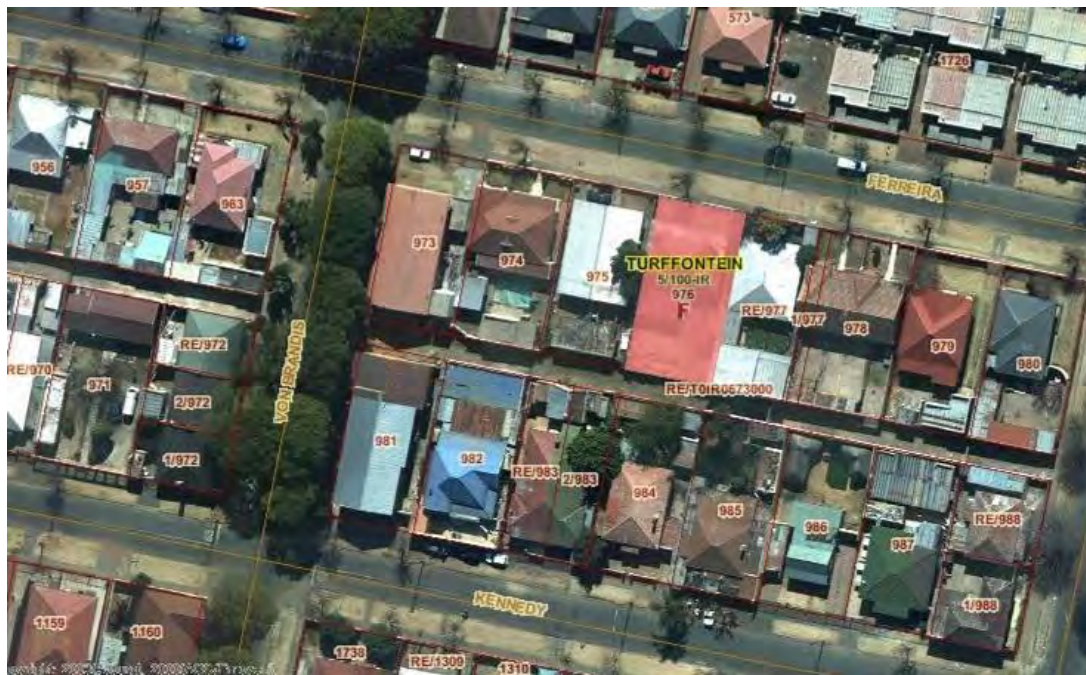


Fig. 162 Stand is located along the southern side of Ferreira Street  
(Source: City Council of Johannesburg, GIS map)

**No original plan could be sourced!**

## Historical Image of a similar type of residence in the Southern section



Fig. 163 Historical Image of residence in Turffontein  
(Source: Museum Africa)

## Identifying Image



Fig. 164 Main façade along Ferreira Street  
(Source: tsica heritage consultants, 2015)



## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The house is an example of one of the earliest type of houses found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb. It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric

- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.10. Residence with corner front stoep\_Stand 611

Address	17 Biccard Street
Stand No.	611
Current Zoning	Residential 4
Year of erection	1911
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(b) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Originally corrugated hipped iron roof with innovative raised stoep and corner window the house is an example of the early 20<sup>th</sup> Century corner houses. At the back of the house still intact are the original corrugated iron stables that are used as accommodation. The site is also part of a historical cluster.</p>	

### Locality map



Fig. 165 Stand is located along Biccard Street  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 611

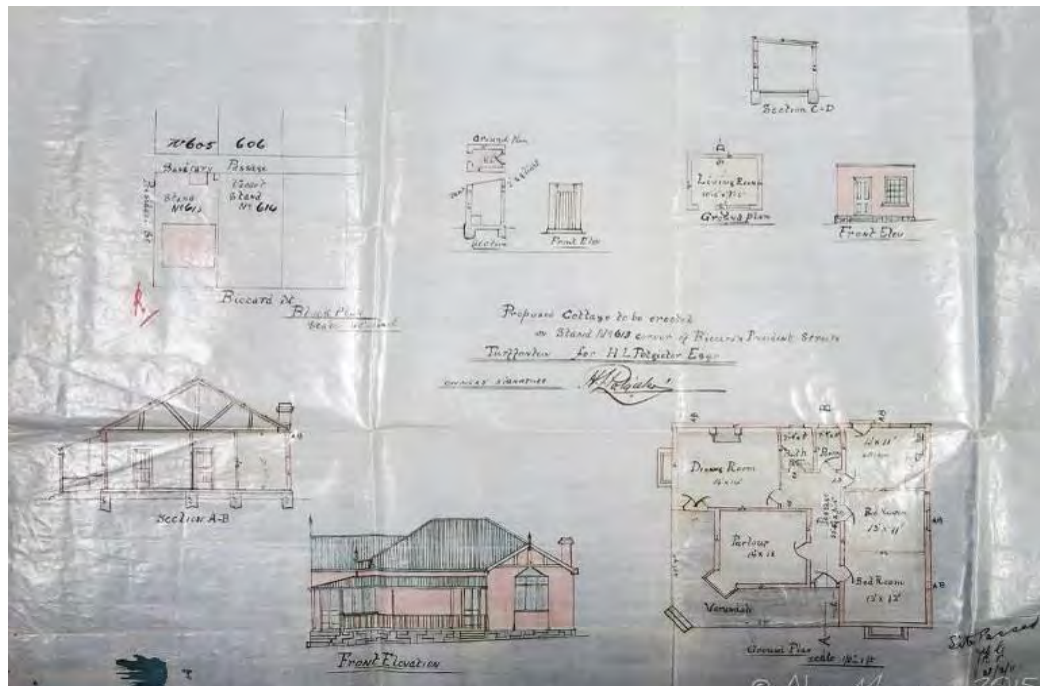


Fig. 166 Original plan from 1911  
(Source: City Council of Johannesburg, Plans Archive)

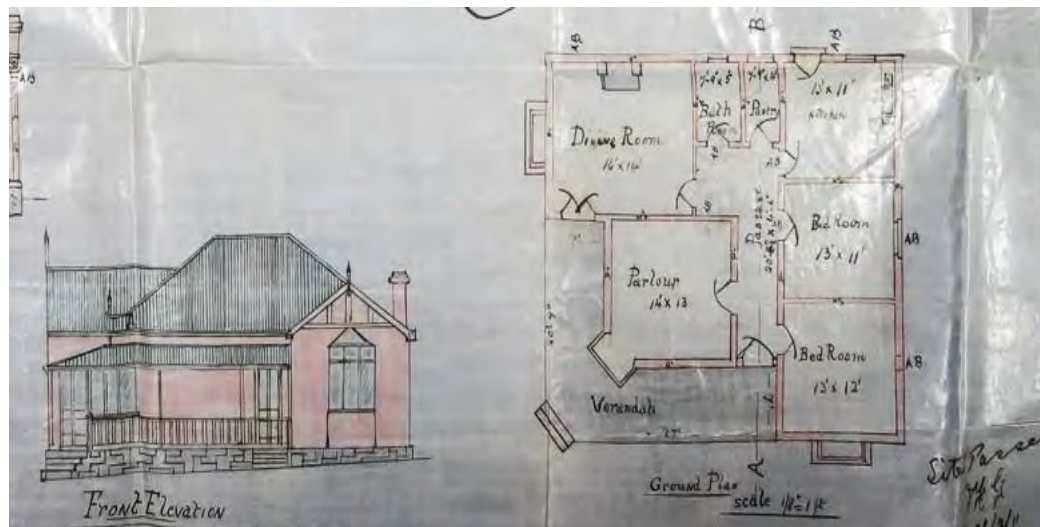


Fig. 167 Detail of front elevation and floor plan  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 168 Corner house on the western section of Turffontein opposite Turffontein Primary School  
(Source: tsica heritage consultants, 2015)



Fig. 169 Corner house  
(Source: tsica heritage consultants, 2015)



Fig. 170 Original corrugated iron stables in the backyard  
(Source: tsica heritage consultants, 2015)



Fig. 171 Zoom in to the original stables with corrugated iron cladding  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The residence is the only turret house in the suburb with a corrugated iron clad original coach house It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the front façade of the building; existing facades visible from the street should remain visible.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the only that remains in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric

- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.11. Residence with wrapped around stoep\_Stand 378

Address	12 Donnelly Street
Stand No.	378
Current Zoning	Residential 4
Year of erection	1904
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Colonial house with a most certain attempt at completeness as shown by the verandah that almost circles the whole house. The house has corner splayed gables and a central door. It is well preserved and has most original feature still intact.</p>	

### Locality map



Fig. 172 Stand is located along Donnelly Street on the south western section of Turffontein (Source: City Council of Johannesburg, GIS map)

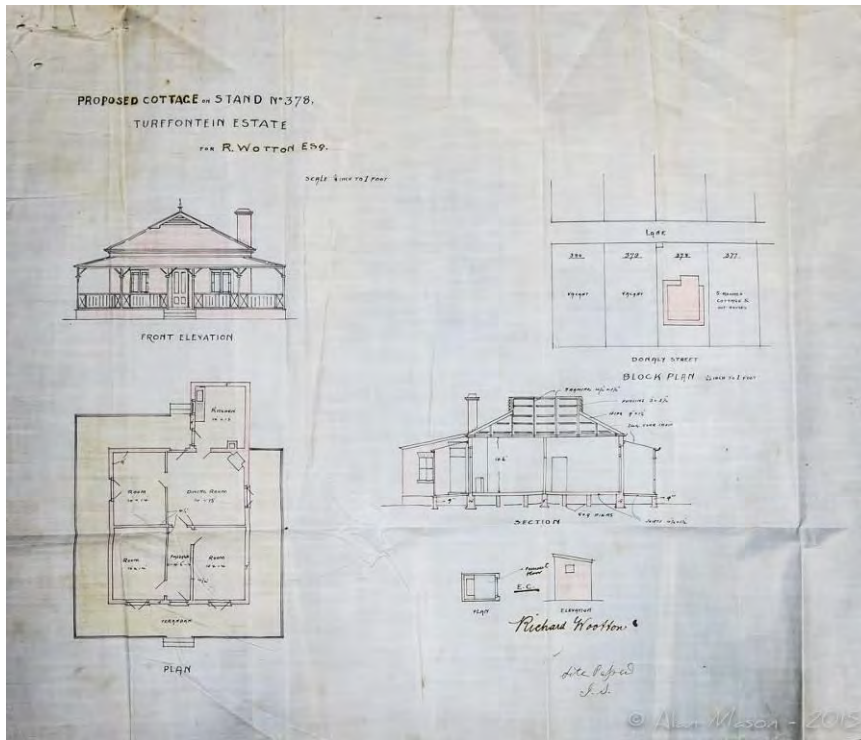


Fig. 173 Original plan of proposed cottage from 1904  
(Source: City Council of Johannesburg, Plans Archive)



Fig. 174 Zoom in plan with front elevation  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 175 Single storey colonial house with warp around stoep  
(Source: tsica heritage consultants, 2015)



Fig. 176 Single storey colonial house with warp around stoep  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The house is an example of one of the earliest type of houses found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb. It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric

- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation



### 7.5.12. Semi-detached cottages\_Stand 379

Address	14 Donnelly Street
Stand No.	379
Current Zoning	Residential 4
Year of erection	1912
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>An early example of a semi-detached residence with a unified near Cape Dutch Gable and side verandahs, the house is still in its original conditions. It is part of a historical cluster.</p>	

### Locality map



Fig. 177 Stand is located along the southern side of Donnelly Street  
(Source: City Council of Johannesburg, GIS map)

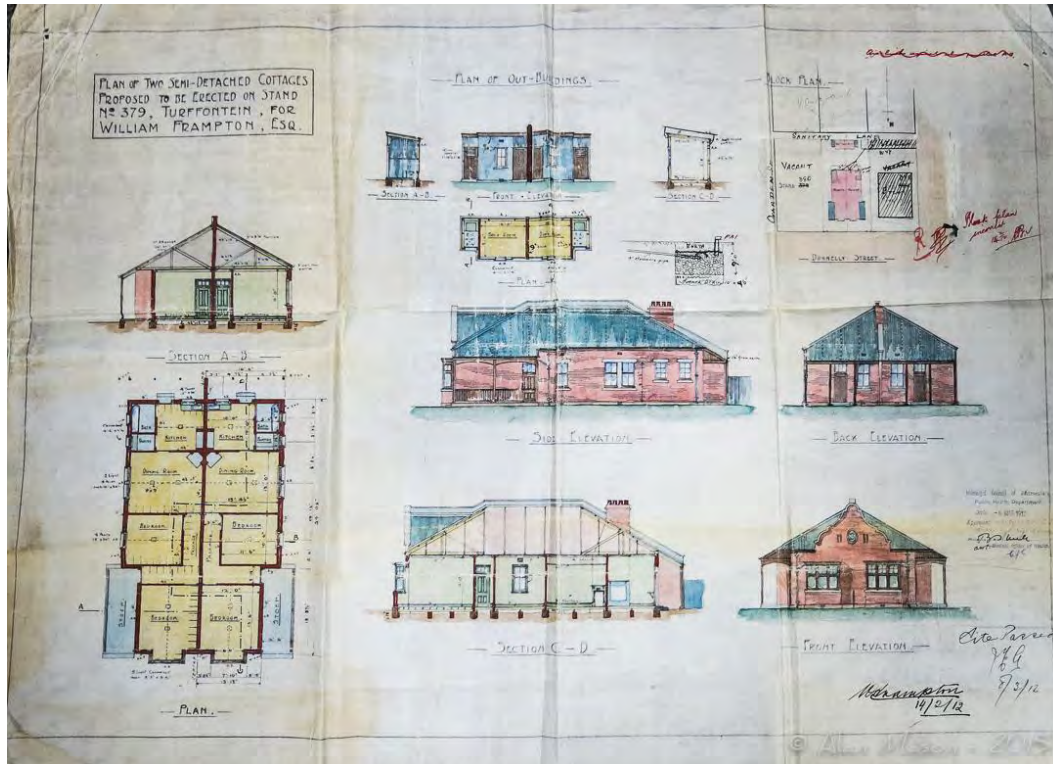


Fig. 178 Original plan of proposed semi-detached cottages from 1912  
(Source: City Council of Johannesburg, Plans Archive)



Fig. 179 Detail of front elevation from 1912  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 180 Semi-detached house with unified decorative gable  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The house is an example of one of the earliest type of houses found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb. It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric

- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.5.13. Residence with centrally located front stoep\_Stand 1648

Address	130 Bertha Street
Stand No.	1648
Current Zoning	Residential 4
Year of erection	1923
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C
<b>Site Description</b> Simple single storey stoep supported by columns, corrugated iron roof. Many of these residences still exist in Turffontein.	

#### Locality map



Fig. 181 Stand is located along the southern side of Bertha Street  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 1648



Fig. 182 Proposed plan for cottage from 1923  
(Source: City Council of Johannesburg, Plans Archive)



Fig. 183 Front elevation for cottage with centrally located stoep  
(Source: City Council of Johannesburg, Plans Archive)



## Identifying Image



Fig. 184 Single storey corrugated iron house with raised centrally located stoep  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to High (160-100dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Residence is a typical face brick front stoep that is commonly found in the suburb. Recommended for development but prior heritage processes and documentation should take place.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not Applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that are usually important as part of a historical cluster or have many other examples existing in the suburb. There also could have been severely compromised as a result of non-sensitive changes. Where development happens therefore on a residential Grade 3C it is recommended that proper documentation of the site is made in some cases memorialisation considered before demolition and development takes place

#### 7.5.14. Double gabled house with centrally located stoep\_Stand 193

Address	94 Turf Club Street
Stand No.	Stand 193
Current Zoning	Business 1
Year of erection	1913
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(b) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C
<b>Site Description</b> Simple single storey covered entrance supported by columns, corrugated iron roof. Many of these residences still exist in Turffontein.	

#### Locality map



Fig. 185 Stand is located on the southern side of Turf Club Street towards Main Street Rosettenville

(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 193

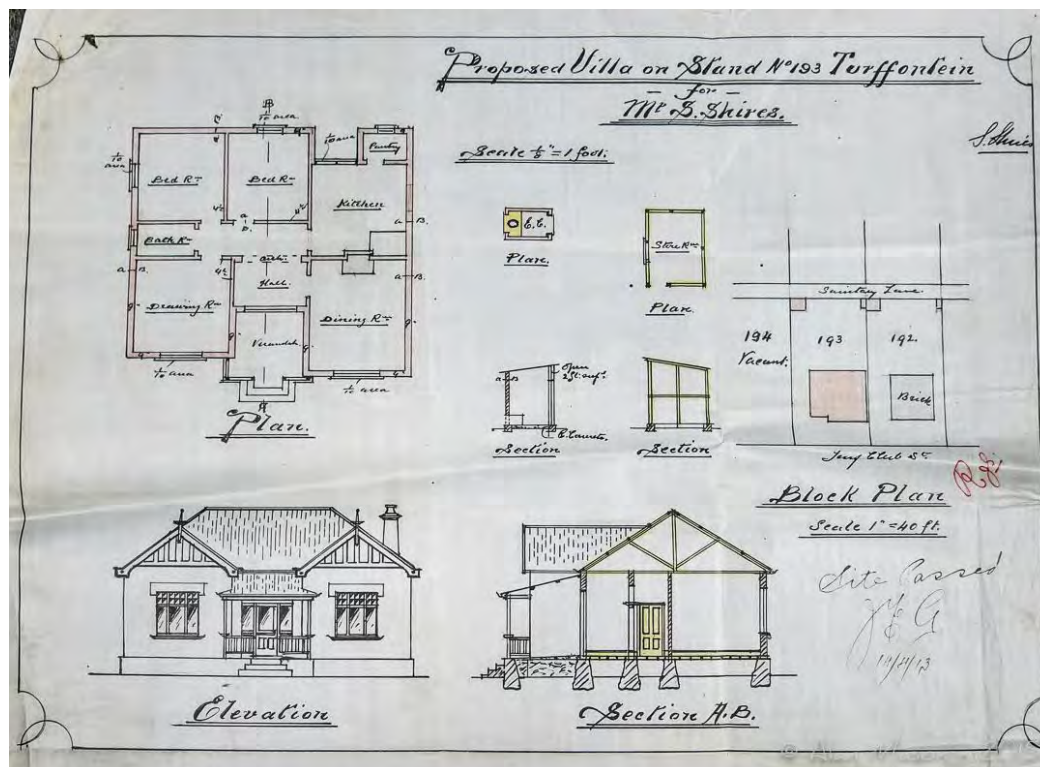


Fig. 186 Single Storey proposed cottage plan  
 (Source: City Council of Johannesburg, Plans Archive)



Fig. 187 Zoom in Street elevation towards Turf Club Street  
 (Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 188 Double gabled residence with centrally located covered entrance  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Residence is a typical semi-detached that is common in Turffontein suburb. Recommended for development but prior heritage processes and documentation should take place.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not Applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3C\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that are usually important as part of a historical cluster or have many other examples existing in the suburb. There also could have been severely compromised as a result of non-sensitive changes. Where development happens therefore on a residential Grade 3C it is recommended that proper documentation of the site is made in some cases memorialisation considered before demolition and development takes place

### 7.5.15. Single Storey house with Side Stoep\_Stand 192

Address	92 Turf Club Street
Stand No.	Stand 192
Current Zoning	Business 1
Year of erection	1920
Architect	Unknown
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C
<b>Site Description</b> Simple single storey residence with side stoep supported by columns and corrugated iron roof. Many of these residences still exist in Turffontein and this is a common example	

### Locality map

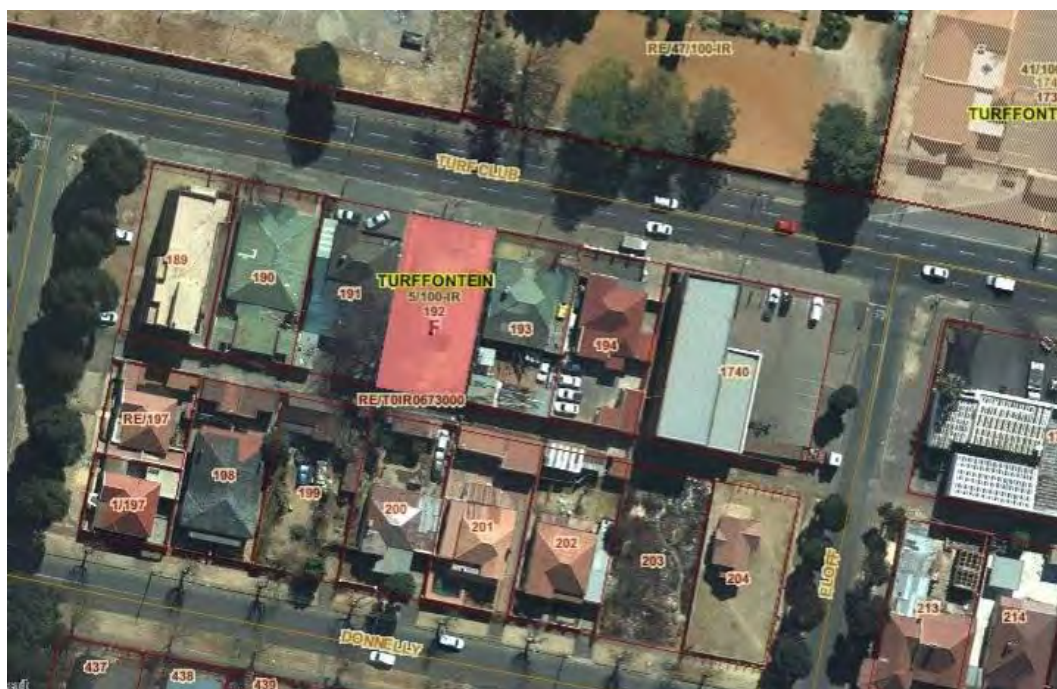


Fig. 189 Stand is located on the eastern side of Turf Club Street towards Main Street Rosettenville  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 192

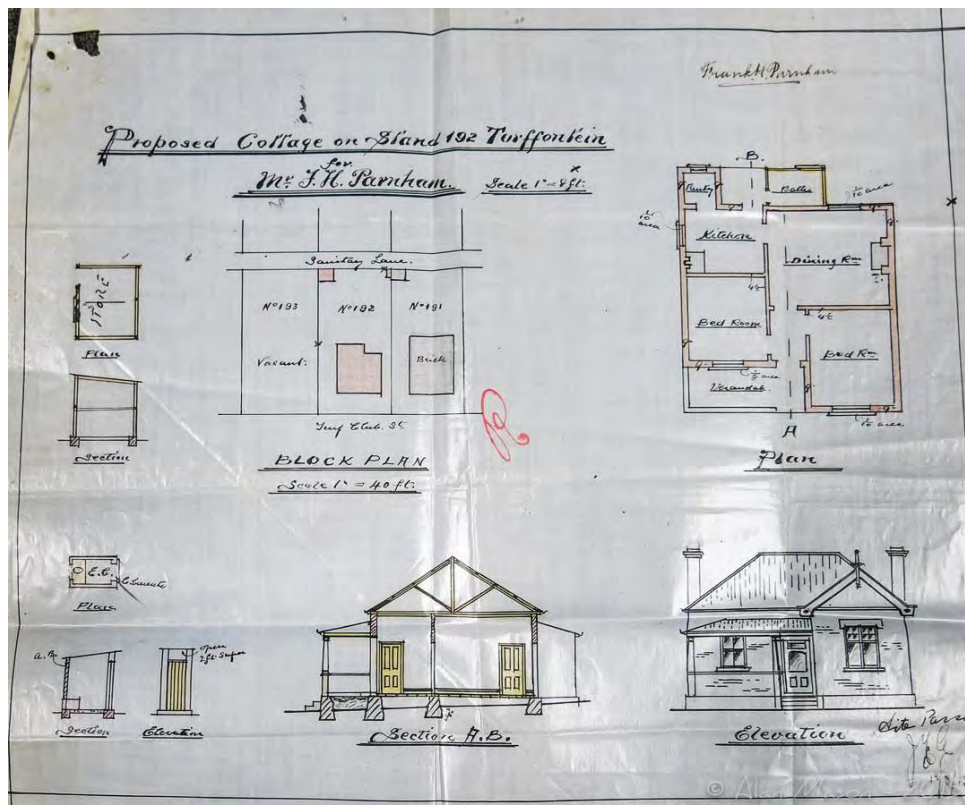


Fig. 190 Plan for proposed cottages along Turf Club Street  
(Source: City Council of Johannesburg, Plans Archive)

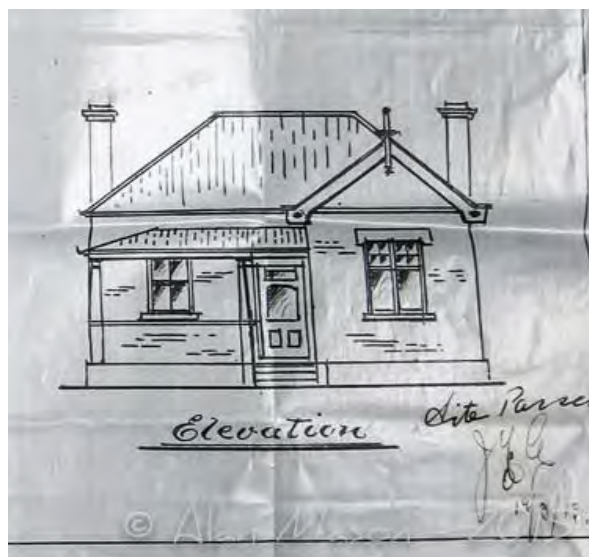


Fig. 191 Zoom in street elevation towards Turf Club Street  
(Source: City Council of Johannesburg, Plans Archive)



## Identifying Image



Fig. 192 Single storey residence with corner stoep  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Residence is a typical side stoep veranda single storey house that is typical in the suburb. Recommended for development but prior heritage processes and documentation should take place.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not Applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3C\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that are usually important as part of a historical cluster or have many other examples existing in the suburb. There also could have been severely compromised as a result of non-sensitive changes. Where development happens therefore on a residential Grade 3C it is recommended that proper documentation of the site is made in some cases memorialisation considered before demolition and development takes place

## 7.6. Identified sites of significance\_Structures

### Introduction

Streetscape contain urban infrastructure including structures. These may include bus shelters, street furniture, stairs, rails, culverts, bridges, embankments, poles and more. A visual street by street survey was done and all of the structures in the area mapped. Those of significance were singled out either because of their historical and architectural significance or because of the social standing they may have in the community. All the sites in this category were graded with 3A grading explained below.

### Grading

3A\_Structures that have a highly significant association with a historic person, social grouping, events, public memories, activities or that are historic landmarks (should be conserved and enhanced)

### Summary Table of identified sites in the structure category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
1261 & 1262	Rare stables clad in corrugated iron, only a few left in the suburb	3A	Conservation highly recommended if any changes there should be highly sensitive to building
684	Rare corrugated iron clad coach house	3A	Conservation highly recommended if any changes there should be highly sensitive to building
611	Stables corrugated iron clad stables	3A	Conservation highly recommended if any changes there should be highly sensitive to building
83 Sheffield	Corrugated Iron Clad outbuilding	3A	Conservation highly recommended if any changes there should be highly sensitive to building
Several streets throughout Turffontein	Stone water channels	3A	Conservation highly recommended if any changes there should be highly sensitive to building
Bus Shelter	Bus Shelter	3A	Conservation highly recommended if any changes there should be highly sensitive to building

### 7.6.1. Stables along Stanton Street\_Stand 1261 & 1262

Address	83 Stanton Street
Stand No	1261 & 1262
Current Zoning	Residential 4
Year	Around 1900
Architect	None
Heritage Significance	Historical
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)Its importance in the community and pattern of local history (b) fabric dates to the early origins of the suburb (c)Fabric illustrates a historical period in the evolution of a place
Proposed SAHRA Grading	3A

#### Site Description

Corrugated iron clad stables and span most of the northern side of Stanton Street, indicating that the area itself was at one stage favoured for such purposes due to its rather close proximity to the Johannesburg Turf Club and Turffontein Racecourse. According to interviews with some old residents of the suburb a few of the families owning horses preferred to live in Turffontein because of its proximity to Turf Club and many of these families would then hire stables to keep their horses. Corrugated Iron houses and stables succeeded the tent town of Johannesburg so there are generally dated from around 1890s -1910s (Smith:1956). Many of these early families were well known in the south who's sons often became some well-known jockey's, of particular mention are the benefactors of this society in particular, the Ralphs family (B Ralphs pictured at the Pony Handicap, Newclare, 1924)

#### Identifying Images



Fig. 193 Stanton Street Stables  
(Source: tsica heritage consultants, 2015)



Fig. 194 Stanton Street Stables  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The stables are a unique example of one of the earliest type of structures found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb. It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable</p>
<p><b>Mixed Use Development</b> Site is within a mixed use development zone</p>	<p><b>Recommendations</b> The site exists successfully with mixed use buildings</p>

## Conservation Management Policies\_Grade 3A\_Structures

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the structures CMP is to make sure that certain type of structure that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known. Structures of significance are just as important as other buildings of significance.

### Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## **Conservation Management Policies\_Structures**

### **Views/Vistas**

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### **Fabric and Setting**

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.6.2. Coach House\_Stand 684

Address	107 Fraser Street
Stand No	684
Current Zoning	Residential 1
Year	Around 1900
Architect	None
Heritage Significance	Historical
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)Its importance in the community and pattern of local history (b) fabric dates to the early origins of the suburb (c)Fabric illustrates a historical period in the evolution of a place
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Corrugated iron clad coach house, the roof has however been replaced with a tiled roof. The original main door is still intact though the other was closed. The site is significant as it is also has the remaining turret house in Turffontein.</p>	

### Identifying Images



Fig. 195 Coach House along Fraser Street  
(Source: tsica heritage consultants, 2015)





Fig. 196 Coach House main entrance  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b></p> <p>The coach house is a unique example of one of the earliest type of structures found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb. It is therefore recommended a maximum scale of 2 storeys around this building.</p>
<p><b>Transport</b></p> <p>Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable</p>
<p><b>Mixed Use Development</b></p> <p>Site is within a mixed use development zone</p>	<p><b>Recommendations</b></p> <p>The site exists successfully with mixed use buildings.</p>

## Conservation Management Policies\_Grade 3A\_Structures

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the structures CMP is to make sure that certain type of structure that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known. Structures of significance are just as important as other buildings of significance.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies Structures

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric

- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.6.3. Corrugated Iron Stables\_Stand 611

Address	17 Biccard cnr President Street
Stand No	611
Current Zoning	Residential 1
Year	Around 1900
Architect	None
Heritage Significance	Historical
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)Its importance in the community and pattern of local history (b) fabric dates to the early origins of the suburb (c)Fabric illustrates a historical period in the evolution of a place
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Corrugated iron clad stables, they have remarkably remained unchanged, they are now being used for residential purposes. The site is significant as it is also has one of the colonial, farmhouse type.</p>	

### Identifying Images

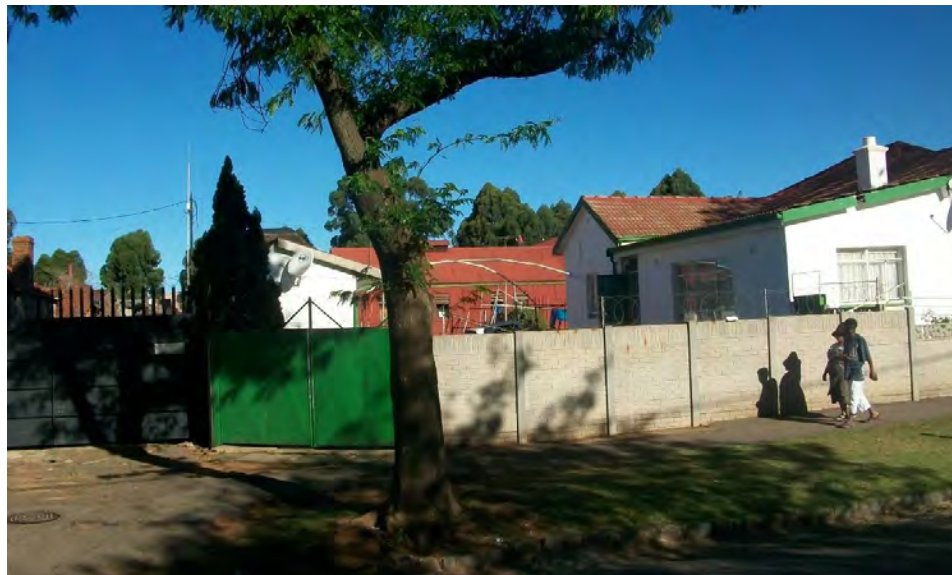


Fig. 197 17 Biccard Street Stables  
(Source: tsica heritage consultants, 2015)



Fig. 198 Zoom in to the stables  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The stables are a unique example of one of the earliest type of structures found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb. It is therefore recommended a maximum scale of 2 storeys around this building structure.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Structures

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the structures CMP is to make sure that certain type of structure that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known. Structures of significance are just as important as other buildings of significance.

### Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## **Conservation Management Policies\_Structures**

### **Views/Vistas**

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### **Fabric and Setting**

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings
- 

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation



#### 7.6.4. Corrugated iron outbuilding along Sheffield Street

Address	83 Sheffield Street
Stand No	
Current Zoning	Residential 1
Year	Circa 1900
Architect	None
Heritage Significance	Historical
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)Its importance in the community and pattern of local history (b) fabric dates to the early origins of the suburb (c)Fabric illustrates a historical period in the evolution of a place
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>This corrugated iron clad back room, which at the early turn of the century when the Group Areas Act had not been effected yet this would be known as a 'Boys Room' or a 'Natives Room'. Some were however used as rooms to rent for single miners trying to make a living in the Rand.</p>	



Fig. 199 Sheffield Street Stables  
(Source: tsica heritage consultants, 2015)



Fig. 200 Zoom in to the stables  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The back rooms are a unique and rare example of one of the earliest type of structures found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is within a mixed use development zone</p>	<p><b>Recommendations</b> The site exists successfully with mixed use buildings</p>

## Conservation Management Policies\_ Grade 3A\_ Structures

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the structures CMP is to make sure that certain type of structure that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known. Structures of significance are just as important as other buildings of significance.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies Structures

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site

- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings
- 

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.6.5. Stone Water Channels\_Several Streets in Turffontein

Address	Several Streets in Turffontein
Stand No	N/A
Current Zoning	N/A
Year	Circa 1910
Architect	None
Heritage Significance	Historical
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a)Its importance in the community and pattern of local history (b) fabric dates to the early origins of the suburb (c)Fabric illustrates a historical period in the evolution of a place
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Natural stones laid out to channel the course of rain water. They have survived decades of resurfacing and paving of streets, they should be preserved at all costs. In some areas where there is re paving and linear park development care should be taken to preserve these structures.</p>	

### Identifying Images



Fig. 201 Stone water channels along Donnelly Street  
(Source: tsica heritage consultants, 2015)



Fig. 202 Stone water channels along Von Brands Street  
(Source: tsica heritage consultants, 2015)

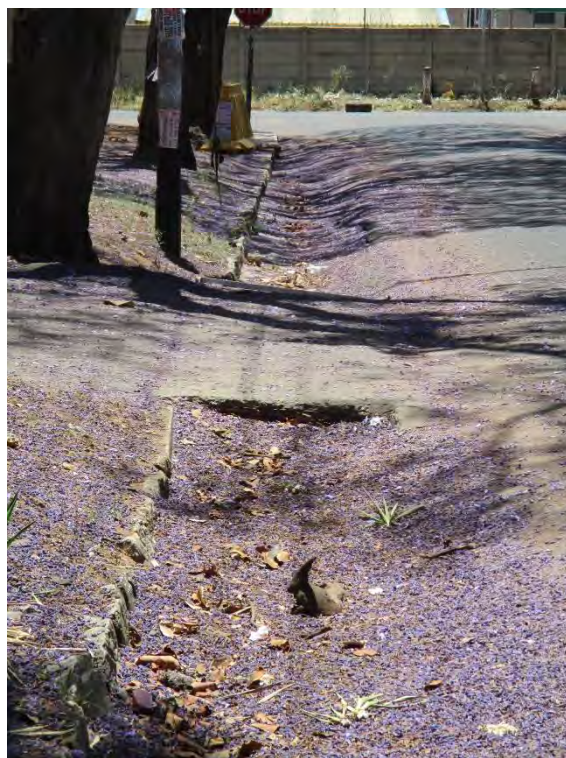


Fig. 203 Stone water channel  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The stables are a unique example of one of the earliest type of structures found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b></p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_ Grade 3A\_ Structures

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the structures CMP is to make sure that certain type of structure that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known. Structures of significance are just as important as other buildings of significance.



## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Structures

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site

- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

### 7.6.6. Bus Shelter on cnr Leonard Street and Turf Club Road

Address	Cnr Leonard Street and Turf Club Road
Stand No	None
Current Zoning	N/A
Year	Circa 1920
Architect	N/A
Heritage Significance	Historical
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	a. Its importance in the community and pattern of local history
Proposed SAHRA Grading	3A
<b>Site Description</b> Original corrugated iron bus stop. Possibly from the 1920s.	

### Identifying Images



Fig. 204 Bus shelter on the corner Leonard and Turf Club Road  
(Source: tsica heritage consultants, 2015)



Fig. 205 Bus Shelter Corner Leonard and Turf Club Road  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The bus structure is a unique example of one of the earliest type of structures found in Turffontein at the turn of the century. Few examples of this kind still remain in the suburb. It is therefore recommended single storey density to be planned around this structure.</p>
<p><b>Transport</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is within a mixed use development zone</p>	<p><b>Recommendations</b> The site exists successfully with mixed use buildings</p>

## Conservation Management Policies\_ Grade 3A\_Structures

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the structures CMP is to make sure that certain type of structure that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known. Structures of significance are just as important as other buildings of significance.

## Swot Analysis

Analysis	Result
Strength	<p>The site is in good condition and there are original features are still in place</p> <p>Site can be visually accessed by the public from the street</p> <p>The site is rare and unique being the few remain in the suburb</p>
Weakness	<p>The site's/event/social histories' potential is under-researched or there is incomplete historical evidence</p>
Risk/ Threat	<p>The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it</p> <p>Loss of the site's integrity and character if insensitive new buildings erected</p>
Strength/Opportunity	<p>Medium density development may allow for increased access to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

## Conservation Management Policies\_Structures

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Introduce public sitting areas or viewing areas in and around public significant buildings to allow for a panoramic view

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- Design contemporary but complimentary new buildings around the site

- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

### **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the sites

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development
- Develop the site as a local tourist destination
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation

## 8. Identified sites of Significance\_Parks

### 8.1. Rotunda Park\_Turffontein

Address	Park Crescent Street
Year – Monument	1920's
Year – Park	1889
Heritage significance	Cultural and natural heritage resources
Statement significance	Social, historical and ecological significance
SAHRA Grading of monument	2
C Plan Rating	Critical Biodiversity Area 2

#### Introduction and Historical Background

Rotunda Park has been in existence for over 130 years. It is a large open space of over four hectares which offers a variety of sporting and recreational facilities. It serves an ever-growing local population which is set to increase significantly as the Turffontein Strategic Framework is implemented as part of the Corridors of Freedom. The first phase of the development was a recent upgrade to the park which had been neglected and run down. De Villiers Street, which extends from the park, is lined with trees which are assumed to be at least a century old.

Rotunda Park provides a green space usable by the general population, unlike the large Turffontein Race Course area which is open space, but not open for public use. The other large park in the vicinity, Christopherson Park, is used mainly as sports grounds. The farm Turffontein, south of the Johannesburg CBD, was owned by Abraham Smit until his death in 1884. The portion which would be declared the suburb Turffontein was then acquired by Paul Ras. The portion immediately south of the Turf Race Course was acquired by Walter J. Casey who, in 1889, had his section of Turffontein surveyed and laid out by J.E. de Villiers who created a grid plan with a circular park at its centre, the Rotunda Park, and a rectangular park originally named





Fig. 206 Detail of old plan from 1896 showing Rotunda Park centrally located within Turffontein (Source: Museum Africa)

Turffontein West Gardens and later renamed Christopherson Park as Casey wanted plenty of open spaces. (Christopherson Park is still in existence as sports grounds and is situated three blocks west of Rotunda Park). At that time the tented Ferreira's Camp, housing gold miners, was situated on Turffontein. Casey intended establishing an up-market suburb, but the dust and noise of the rapidly growing mine dumps stifled his plans. The suburb housed mainly working-class miners. The Star of 3 April 1931 reported that "None of the streets is less than 60 ft wide and some magnificent boulevards such as De Villiers Street are 100 ft wide".

Rotunda Park has been in existence since 1889. The population of Turffontein has increased significantly over time, especially in recent years. The proposed increased residential densities as per the Corridors of Freedom programme will put greater demand on the large park and outdoor recreation area. Rotunda Park is centrally located in the area designated for densification.

A First World War Memorial is situated in Rotunda Park. The memorial is a squat stone structure with a plaque naming the men from the southern suburbs who died during the war.

## Location map of Rotunda Park



Fig. 207 Rotunda Park is centrally located within Turffontein with Hay Street in eastern direction (Source: Google Street map, 2015)



Fig. 208 First World War Memorial in Rotunda Park (Source: Museum Africa)

Rotunda Park is 4.046 ha (10 acres as it was originally laid out) in extent. It lies south of Turf Club Road and the Turffontein Race Course. Hay Street, the main commercial street, runs north–south to the west of the park. Von Brandis Street runs north–south to the east of the park. Rotunda Park is bisected by High Street which also runs north–south. It is bounded in the north by Bertha Street and by Tramway Street to the south. The perimeter of the park is planted with trees. The park and the sports facilities in it were derelict until a recent upgrade. The new facilities include picnic and braai facilities, a state-of-the-art children's play area with rubberised surfaces, a skateboarding court, mini-soccer field, revamped netball and tennis courts and a running track.



Fig. 209 View along De Villiers Street towards the Rotunda  
(Source: tsica heritage consultants, 2015)

## Social and Historical Significance

### Identification Grading NHRA\_Grading 2



Fig. 210 Plaque on the First World War Memorial  
(Source: tsica heritage consultants, 2015)

### Proposed Development Plan

The Rotunda Park Precinct will form part of the City's Corridors of Freedom programme which is based on transit-oriented development. The concept is that high numbers of people provide the basis for efficient public transport and support a variety of land uses, making vibrant urban places. Turffontein is well located, close to the CBD and potential places of employment and has established engineering infrastructure (upgrading will take place as part of the development programme) and amenities such as schools and retail facilities. Densification will allow people to move from the perimeter of the city to enjoy a variety of urban facilities. The development proposals are aligned to the Johannesburg Growth and Development Strategy 2040.

### Phase 1: Public environment upgrades

The first phase involves upgrades of Park Crescent, the road encircling Rotunda Park, High Street to the north of the park, the intersection of High Street and Turf Club Street (to create a northern gateway to the precinct), and the intersection of Turf Club Street and Main Street (to create an eastern gateway).



Fig. 211 Rotunda Park before the upgrade  
(Source: tsica heritage consultants)



Fig. 212 After the upgrade  
(Source: tsica heritage consultants, 2015)



Fig. 213 After the upgrade  
(Source: tsica heritage consultants, 2015)

### **Phase 2: Linear Park project**

The second phase of the development is Linear Park project along a two-kilometre stretch of De Villiers Street, which runs to the west and east from either side of Rotunda Park, and creating a new green public space in between.



Fig. 214 Artist's impression of the Rotunda Park Precinct with the planned Linear Park extending two kilometres east and west of Rotunda Park, flanked by new mixed-use development including high-density housing\_ (Source SAF 2013)

### **Phase 3: Park Extensions**

The final phase of the Rotunda Park Precinct development, scheduled to start in 2017/2018, will involve the extension of the De Villiers Parkway/Linear Park towards various landmarks in the area.

#### **Policy**

According to the Regional Spatial Development Framework for Region F, into which Turffontein falls, the applicable Spatial Development Strategy for Rotunda Park is to support the sustainable environmental management using the following instruments:

- Johannesburg Metropolitan Open Space System
- Design Guidelines
- Johannesburg Open Space Framework
- COJ Wetland Audit
- COJ Catchment Management Policy
- COJ Biodiversity Strategy

#### **The objectives for the area are to:**

- Create a network of green open spaces
- Support sustainable catchment management and storm water practices
- Protect important environmental areas
- Promote the prevention and reduction of pollution
- Ensure adequate provision of services infrastructure to support densification and infill

#### **Heritage:**

There are a range of valuable heritage resources in Region F, both in the southern areas as well as in the inner city. These need to be protected and maintained. There is also a potential to link these sites and market them as a series of tourist destinations to attract visitors and local residents in Region F.

## Turffontein and Rotunda Park fall into sub-area 28

<p><b>Development objective 3</b></p> <p>To strengthen and enhance the area's role as a regional recreation node and its tourism potential.</p>	
<p><b>Intervention</b></p>	<p><b>Guideline</b></p>
<p>Investigate the implementation of the proposed BRT/SPTN route along Klip River Road.</p>	<p>As per BRT guidelines.</p>
<p>Support tourism initiatives.</p>	<p>Collaborate with stakeholders in the upliftment of the area in liaison with the SOJO Business Forum.</p> <p>Support proposals including residential and business developments that enhance the aesthetics of the area.</p> <p>Improve the existing sports facilities.</p> <p>Protect and enhance existing parks and opens spaces in the area.</p>

Rotunda Park has served the local community of Turffontein for over a century. It will continue to do so on condition that the environmental policies, such as JMOSS, which are in place, are implemented. The proposed increased densities in Turffontein will mean that people will rely more on public open spaces as private gardens will be small or non-existent. Rotunda Park has endured changes in the neighbourhood in the past; with correct management it should continue being a valuable community resource.



## 8.2. Christopherson Park

### Introduction

Christopherson Park was established as a rectangular open space, at the same time as Rotunda Park, when the suburb of Turffontein was laid out in 1889. The farm Turffontein surveyed and laid out by J.E. de Villiers in the 1890s who created a grid plan with a circular park at its centre, the Rotunda Park, and a rectangular park originally named Turffontein West Gardens and later renamed Christopherson Park as Casey wanted plenty of open spaces. Christopherson Park is still in existence as sports grounds and is situated three blocks west of Rotunda Park. The Park is currently being used as a sports ground. The proposed increased residential densities as per the Corridors of Freedom programme will put greater demand on the sports fields at Christopherson Park.

### Location of site



Fig. 215 Christopherson Park is on Stanton Street, Turffontein. It lies between Garden Street to the west and President Street on the east  
(Source: Google maps)

## Description of site



Fig. 216 View of the buildings from President Street  
(Source: tsica heritage consultants, 2015)

The flat land is ideal for sports fields. The Sporting Football Club Johannesburg was founded in 1964 and is affiliated to Sporting Club de Portugal (Portugal). It is a feeder club to Bidvest Wits. The Cambrians Hockey Club has a field at the park. Trees are scattered along the perimeter of the Park and between two of the sports fields. The only buildings are located along the President Street boundary. It houses the change rooms, office and the Alvalade Portuguese Restaurant.

## The Alvalade Restaurant and facilities



Fig. 217 View of the buildings from President Street  
(Source: tsica heritage consultants, 2015)



Fig. 218 The main entrance on President Street  
(Source: tsica heritage consultants, 2015)



Fig. 219 The view from Stanton Street  
(Source: tsica heritage consultants, 2015)

### **Social and historical significance**

Christopherson Park has existed for over a century and has historical significance as it has buildings that are over 60 years. The Park is also important socially due to the sports activities that take place.

### **Proposed development plan**

Christopherson Park will form part of the City's Corridors of Freedom programme which is based on transit-oriented development. The concept is that high numbers of people provide the basis for efficient public transport and support a variety of land uses making vibrant urban places. Turffontein is well-located, close to the CBD and potential places of employment and has established engineering infrastructure (upgrading will take place as part of the development programme) and amenities such as schools and retail facilities. Densification will allow people to move from the perimeter of the city to enjoy a

variety of urban facilities. The development proposals are aligned to the Johannesburg Growth and Development Strategy 2040.

### The Corridors of Freedom



- Proposed BRT Stations
- Proposed BRT Route
- Key Public Connectors (NMT Priority)

The movement framework indicates that Garden Street, which runs along the west of Christopherson Park will be a BRT route with proposed BRT stations four blocks to the north and two blocks to the south of the park. Stanton Street which runs along the park’s southern boundary will be a key Public Connector with attention given to non-motorised transport.

### Phase 1: Public Environment Upgrades

The first phase involves upgrades of public spaces. No mention is made of Christopherson Park.

### Phase 2: Linear Park project

The second phase of the development is Linear Park project along a two-kilometre stretch of De Villiers Street, which runs to the west and east from either side of Rotunda Park, and creates a new green public space. It appears that the focus is to the east of Rotunda Park to link with Rosettenville. The Linear Park does not appear to extend all the way to Christopherson Park.



Fig. 220 Artist's impression of the Rotunda Park Precinct with the planned Linear Park extending 2 kilometres east and west of Rotunda Park, flanked by new mixed-use development including high-density housing, but apparently not reaching Christopherson Park.

### **Phase 3: Park extensions**

The final phase of the Rotunda Park Precinct development, scheduled to start in 2017/2018, will involve the extension of the De Villiers Parkway/Linear Park towards various landmarks in the area. The landmarks are not elaborated upon.

### **Impact Assessment**

From the sketchy data available it appears that the Linear Park will not extend as far as Christopherson Park. The impact of this, if true, will be negative. The Linear Park will run along de Villiers Street which does extend to Christopherson Park, and beyond further west. Christopherson Park is in dire need of an upgrade. If it was included as a cornerstone of the Linear Park, it will anchor the Linear Park, provide a positive greenspace along the BRT route on Garden Street and along Stanton Street which will have a non-motorised transport focus. The impact of omitting Christopherson Park from the proposed Linear Park will have a negative impact on the green spaces of Turffontein, while including it will be a positive impact.

## **Policy**

According to the Regional Spatial Development Framework for Region F, into which Turffontein falls, the applicable Spatial Development Strategy for Rotunda Park is to support the sustainable environmental management using the following instruments:

- Johannesburg Metropolitan Open Space System
- Design Guidelines
- Johannesburg Open Space Framework
- COJ Wetland Audit
- COJ Catchment Management Policy
- COJ Biodiversity Strategy

The objectives for the area are to:

- Create a network of green open spaces
- Support sustainable catchment management and storm water practices
- Protect important environmental areas
- Promote the prevention and reduction of pollution
- Ensure adequate provision of services infrastructure to support densification and infill

## **Heritage**

There are a range of valuable heritage resources in Region F, both in the Southern areas as well as in the Inner City. These need to be protected and maintained. There is also a potential to link these sites and market them as a series of tourist destinations to attract visitors and local residents in Region F

## Turffontein and Christopherson Park fall into Sub-area 28

<p><b>DEVELOPMENT OBJECTIVE 3</b> To strengthen and enhance the area's role as a regional recreation node and its tourism potential.</p>	
<b>INTERVENTION</b>	<b>GUIDELINE</b>
1. Investigate the implementation of the proposed BRT/SPTN route along Klip River Road.	<ul style="list-style-type: none"> <li>• As per BRT guidelines.</li> </ul>
2. Support tourism initiatives.	<ul style="list-style-type: none"> <li>• Collaborate with stakeholders in the upliftment of the area in liaison with the SOJO Business Forum.</li> <li>• Support proposals including residential and business developments that enhance the aesthetics of the area.</li> <li>• Improve the existing sports facilities.</li> <li>• Protect and enhance existing parks and opens spaces in the area.</li> </ul>

Christopherson Park continues to provide the local community of Turffontein with sports fields a century after it was established. It will continue to do so on condition that the environmental policies, such as JMOSS, which are in place, are implemented. The proposed increased densities in Turffontein will mean that people will rely more on public open spaces as private gardens will be small or non-existent. Christopherson Park has endured changes in the neighbourhood in the past, with correct management it should continue being a valuable community resource.

## **9. Identified significant sites in surrounding area within Turffontein Precinct\_Kenilworth**

### **History of Kenilworth as part of the Turffontein Precinct**

Kenilworth a suburb that is nestled between Rosettenville and Turffontein is a quiet residential suburb with no main commercial node. The Kenilworth Estate and Finance Corporation which was established in 1905 acquired the land on farm portion Turffontein No 135 on which to establish the township called Kenilworth. On 11 August 1905 survey of the township began and two weeks the town Clerk objected to the use of the name as there was another suburb in Cape Town with the same name (Smith 1971:256). Although there were many objections to the name the surveyed map was passed on the 7<sup>th</sup> of March 1907 and the township named Kenilworth (ibid). The reason for the choice of name has not been found in documents of the period, but The Star for 15 February 1927 suggested that the Johannesburg suburb was named after a suburb in Cape Town which is also adjoined to a race course. Another argument brought forward by G.A. Leyds states that the Rosettenstein family had an interest in promoting the suburb form a model village which De beers had created in Kimberely also called Kenilworth. According to Smith this explanation is not consistent with the rest of the facts surrounding the establishment of the suburbs. Kenilworth carries the same street names Turffontein which are named after famous Rand Pioneers for eg as Sir William van Hulsteyn (solicitor for the corner house), the brothers Leonard (leaders of Uitlanders), the brothers Sheffield (of The Star) and Ignatius Ferreira (of the Ferreira Camp).

Interestingly also in the beginning Kenilworth was a plantation of gum trees which was meant to cater for props in mines and construction of residences all around the suburb. Kenilworth unlike its neighbours of Rosettenville and Turffontein gained the reputation of being a quieter suburb than the other two. It has also emerged as the wealthier of the two suburb as evidenced by the quality of maintenance of the houses. Most the houses have gone few changes throughout the years and therefore older than 60 years and in their original state.



## 9.1 Main Streets in Kenilworth

Address	Main Street
Stand No.	N/A
Current Zoning	Business 1
Year of erection	Circa 1900
Architect	N/A
Heritage Significance	Historical/ Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	It has a mixture of historically significant buildings and more contemporary buildings. It has a streetscape comprising of single to two storey buildings with some of the buildings altered
Proposed SAHRA Grading	3C
<p><b>Site Description</b></p> <p>Main Street is the main commercial street of Kenilworth characterised by a row of shops and a fleet of houses right at the intersection of Main and Verona street going further south. The buildings along the street are generally in good shape, some original and some altered. Main Street connects Kenilworth to Central Johannesburg to the north. The street consists of single to 2 storey buildings of mixed architectural styles. Just like most of the main streets of that day in most suburbs, most doors of the corner shops in this street are strategically positioned right at the corner of the building. Illegal vendors have come to compete with established shops for customers along the street making the street densely populated most times.</p>	

### Locality Map

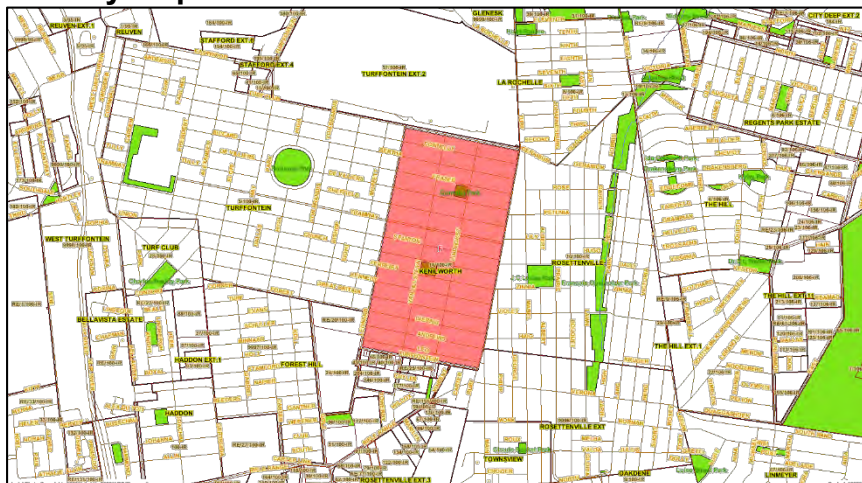


Fig. 221 Locality Map showing the outline of Kenilworth in red  
(Source: City Council of Johannesburg, GIS map)

## Identifying Images along Main Street in Kenilworth



Fig. 222 Main Street streetscape towards the north  
(Source: tsica heritage consultants, 2015)



Fig. 223 Streetscape view towards the north  
(Source: tsica heritage consultants, 2015)

## Identifying Images along Main Street with commercial buildings



Fig. 224 Commercial building centrally located along Main Street  
(Source: tsica heritage consultants, 2015)



Fig. 225 Corner building on Kenilworth side border of Rosettenville  
(Source: tsica heritage consultants, 2015)



Fig. 226 Mixed use corner building on Kenilworth side border of Rosettenville  
(Source: tsica heritage consultants, 2015)



Fig. 227 Mixed use corner building on Kenilworth side border of Rosettenville  
(Source: tsica heritage consultants, 2015)



Fig. 228 Row of single storey shops  
(Source: tsica heritage consultants, 2015)



Fig. 229 Row of single storey shops on Kenilworth side border of Rosettenville  
(Source: tsica heritage consultants, 2015)



Fig. 230 Corner shop on western border on Kenilworth  
(Source: tsica heritage consultants, 2015)



Fig. 231 Corner shop with columns supported verandah  
(Source: tsica heritage consultants, 2015)



Fig. 232 Former Kinema along Main Street  
(Source: tsica heritage consultants, 2015)



Fig. 233 First Nandos building along Main Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan and Recommendations

<p><b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Due caution should be taken when development happens around 3A and identified historical clusters where conservation is recommended. 3A sites may require further heritage approval from PHRA_G for development. Demolition and new build should be avoided in favour of repurposing and rehabilitation of sites within historical clusters or where recommended as 3A.</p>
<p><b>Transport</b> Site is along main BRT route transit spine</p>	<p><b>Recommendations</b> Street widening and BRT Stations along or in close proximity to historical clusters and 3A sites is not recommended thereby protecting views of the sites and street facades of particular buildings.</p>
<p><b>Social Cluster Development</b> The is no social cluster development that is planned along Main Street</p>	<p><b>Recommendations</b> No social cluster development in the immediate vicinity of Main Street Kenilworth.</p>
<p><b>Mixed Use Development</b> Site is within a mixed use development zone</p>	<p><b>Recommendations</b> Most of Main Street already consists of mixed use building blocks. Care should be taken with grade 3 shop fronts, verandah's etc in accordance with individual site CMP guidelines.</p>



## 9.2 Identified sites of significance within Kenilworth\_C Commercial Buildings (Corner shops, Mixed-use)

### Introduction

Commercial buildings are buildings that are generally used for commercial purposes or have been zoned for commercial usage. Sites represented in this category have some historical/social or architectural significance. Some are representative of a certain typology of building that is found in the area. A detailed visual survey was done in the area and listed below are buildings that were identified as representative of commercial buildings that are considered to have some heritage/cultural/historical significance. Sites were graded according to their significance below.

### Grading

3A\_ Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B\_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C\_ Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

### Summary Table of identified sites in the commercial category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
1131	Old Kenilworth Bioscope now OK	3A	Conservation highly recommended if any changes there should be highly sensitive to building
1118	Corner shop	3A	Conservation highly recommended if any changes there should be highly sensitive to building
461	Corner shop	3A	Conservation highly recommended if any changes there should be highly sensitive to building
1138	Corner shop	3C	Possible major changes, documentation necessary
904	Corner shop	3A	Conservation highly recommended if any changes there should be highly sensitive to building
664	Nandos Building	3A	Conservation highly recommended if any changes there should be highly sensitive to building

<b>Site/ Stand No.</b>	<b>Description</b>	<b>Provisional Grading</b>	<b>Heritage Implications</b>
959	Corner shop	3A	Conservation highly recommended if any changes there should be highly sensitive to building
955	Corner shop	3A	Conservation highly recommended if any changes there should be highly sensitive to building
918	Corner shop	3A	Conservation highly recommended if any changes there should be highly sensitive to building

### 9.2.1. Grand Bioscope Complex, Kenilworth\_Stand 1131

Address	173 Main Street
Stand No.	1131
Current Zoning	Business 1
Year of erection	1935
Architect	D.M. Sinclair
Heritage Significance	Historical/ Architectural/ Social
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>The Kinema Complex was designed in 1935 by the well-known architect Duncan Mc Donald Sinclair. Sinclair was one of the longest established architectural offices in Johannesburg and it was a well sought after firm by graduates from the University of the Witwatersrand for internships and apprentices. Sinclair was an early member of the Transvaal Institute of Architects and he encouraged the registration of architects and for a regulatory body over the profession. Sinclair practiced in Johannesburg all his life and he was responsible for a number of important buildings the most well-known being the Southern Life Building a post war geometrical skyscraper.</p>	

#### Locality map



Fig. 234 Located at an advantageous position along Main Street at the border of Rosettenville and Kenilworth  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 235 Former Kinema now the Ok building front façade facing Main Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Building is in a high density zone, it is recommended that this building be conserved, and all alterations and additions should be according to appropriate conservation principles.</p>
<p><b>Transport</b> Site is along main BRT route transit spine</p>	<p><b>Recommendations</b> Any BRT Stations and street widening should not negatively impact the visibility of the building.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is within a mixed use development</p>	<p><b>Recommendations</b> Site is already adjacent to mixed used buildings however recommended lower rise scale buildings are recommended around the site so to not dwarf the building.</p>

## Conservation Management Policies\_Grade 3A\_Commercial sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are carried out usually in that space. Because of their importance in local heritage there are recommended for conservation and any changes done should be highly monitored by heritage specialists.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place  Site can be accessed by the public and could be a good example of an original corner shop in the street
Weakness	Integrity and character of site is compromised because of its usage Internal alterations have compromised the integrity of the site
Risk/ Threat	The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	High Density development may allow for increased access to the site and economic and social significance of the site

## Conservation Management Policies\_ Commercial sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles
- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

## **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Include the site as part of heritage local tours and increase awareness of the importance of the building

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.2.2. Corner shop\_Stand 249

Address	84-86 Leonard Street
Stand No.	249
Current Zoning	Residential 4
Year of erection	Circa 1930s
Architect	Unknown
Heritage Significance	Historical/ Architectural/ Social
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
A typical 1920s-1930s corner shop with a corrugated iron roof and a wrap around stoep, precast columns support pavement canopy.	

### Locality map



Fig. 236 Located at an advantageous position along Main Street at the border of Rosettenville and Kenilworth  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**



## Identifying Images



Fig. 237 Corner shop and row of shops on the border of Turffontein and Rosettenville  
(Source: tsica heritage consultants, 2016)



Fig. 238 Zoom in, alterations evident  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Site is not in a high density development</p>	<p><b>Recommendations</b> The site is at a strategic point at the border of Turffontein and Kenilworth. It will not be affected by high density development, if one would be planned around it.</p>
<p><b>Transport _Stations/Road Widening</b> Site is not along main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is not within a mixed use development</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Commercial sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are carried out usually in that space. Because of their importance in local heritage there are recommended for conservation and any changes done should be highly monitored by heritage specialists.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition some original features are in place Site can be accessed by the public and could be a good example of an original corner shop in the street
Weakness	The site has been altered Window schemes are not original
Risk/ Threat	The site is not located on a main BRT Trunk route, mixed use zone or high to medium density zone
Strength/Opportunity	Site continues to maintain its character and usage as it is surrounded but residential buildings

## Conservation Management Policies\_ Commercial sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict with the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.2.3. Corner shop\_Stand 461

Address	143 Stanton Street
Stand No.	461
Current Zoning	Business 1
Year of erection	1926
Architect	Unknown
Heritage Significance	Historical/ Social/ Architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description	A typical 1920s-1930s Cornershop with a corrugated iron roof and a wrap around Stoop

### Locality map



Fig. 239 Locality map corner Stanton and Leonard Streets  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 461

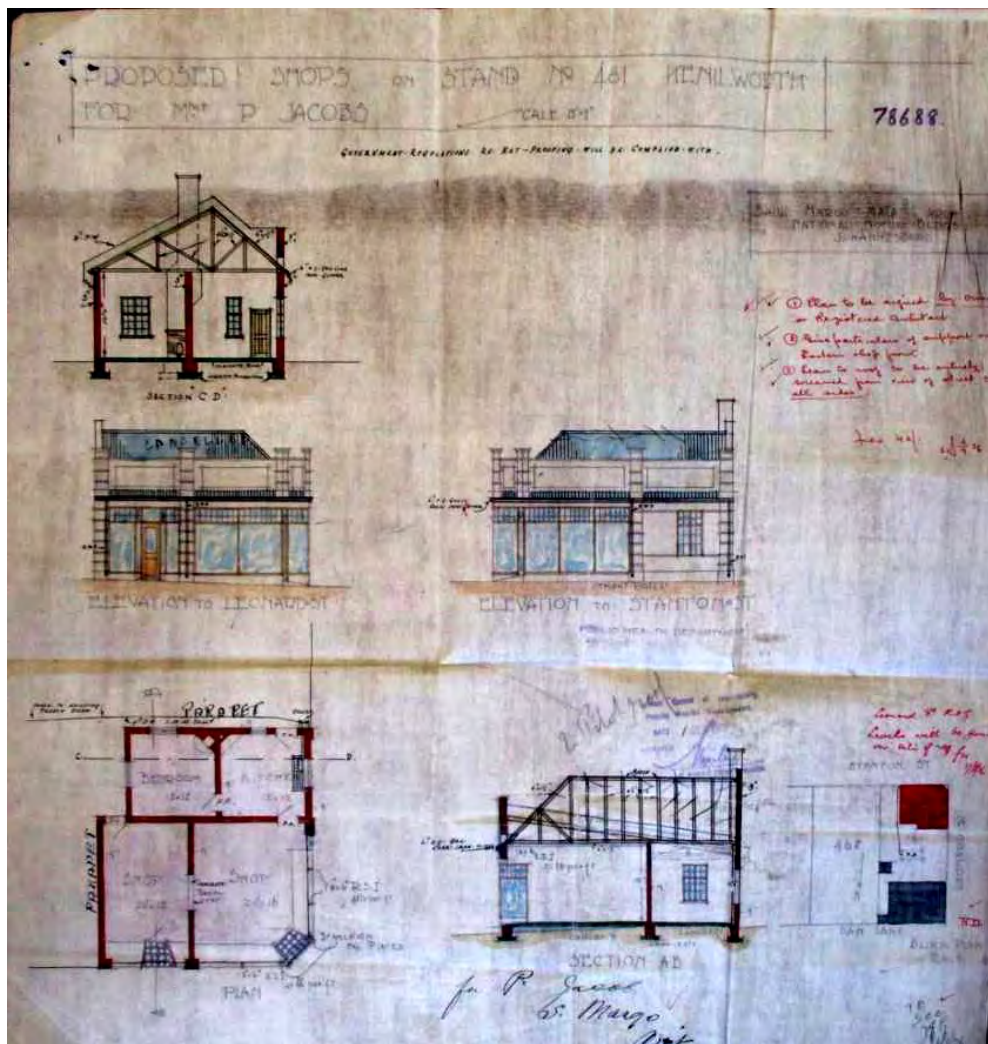


Fig. 240 Original plan for proposed shops  
(Source: City Council of Johannesburg, GIS map)

## Identifying Image



Fig. 241 Corner shop still is in its original condition  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Site is not in a high density development	<b>Recommendations</b> The site will not be affected by high density development, if one would be planned around it.
<b>Transport_Stations/Road Widening</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Commercial sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are carried out usually in that space. Because of their importance in local heritage there are recommended for conservation and any changes done should be highly monitored by heritage specialists.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition some original features are in place Site can be accessed by the public and could be a good example of an original corner shop in the street
Weakness	Painting done was not sensitive to the original colour scheme Window schemes are not original
Risk/ Threat	The site is not located on a main BRT Trunk route, mixed use zone or high to medium density zone
Strength/Opportunity	Site continues to maintain its character and usage as it is surrounded by residential buildings

## Conservation Management Policies\_ Commercial sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict with the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



### 9.2.4. Corner shop\_Stand 1138

Address	174-176 Stanton street
Stand No.	1138
Current Zoning	Business 1, Residential 4
Year of erection	Unknown
Architect	Unknown
Heritage Significance	Architectural, social, historical
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) It's importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C
<b>Site Description</b> 1940s corner shop that shows some alterations that are influenced by Portuguese architecture and culture. The corner shop is at a busy corner that is patronized often.	

### Locality map



Fig. 242 Locality map corner shop located corner Leonard and Stanton  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 243 Corner shop showing various alterations that have been done including wall tiling  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low. less (100dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>Recommended for future development however full documentation should take place before changes are made to the building.</p>
<p><b>Transport_Station and Street Widening</b></p> <p>Site is along main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Such changes could be considered along this site but full documentation of the site should be taken into cognisance</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed Use Development</b></p> <p>Site is not within a mixed use development</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>

## Conservation Management Policies\_ Grade 3C\_ Commercial Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that are usually important as part of a historical cluster or have many other examples existing in the suburb. There also could have been severely compromised as a result of non-sensitive changes. Where development happens therefore on a grade three site it is recommended that proper documentation of the site is made in some cases memorialisation considered before demolition and development takes place.

### 9.2.5. Corner shop\_Stand 904

Address	91-93 Main Street
Stand No.	904
Current Zoning	Business 1
Year of erection	Circa 1930
Architect	Unknown
Heritage Significance	Historical, architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
Corner shop and row of shops of with original columns supporting a canopy with a unpretentious roof parapet. The shop is a typical 1930s corner shop though there have been some alterations.	

### Locality map



Fig. 244 Corner shop and row of shops corner Diering and Main Street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 245 Image showing altered facades where large windows have replaced original brick walls  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Corner shop is highly visual along Main Street recommended conservation no buildings should be erected on site, site is not recommended for demolition, or alteration that will alter its character.</p>
<p><b>Transport</b> Site is along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the shop fronts; any bus stops planned should not negatively impact on the visibility of the site</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable</p>
<p><b>Mixed Use Development</b> Site is within a mixed use development zone</p>	<p><b>Recommendations</b> Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.</p>

## Conservation Management Policies\_ Grade 3A\_ Commercial Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are carried out usually in that space. Because of their importance in local heritage there are recommended for conservation and any changes done should be highly monitored by heritage specialists.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place Site can be accessed by the public and could be a good example of an original corner shop in the street
Weakness	Painting done was not sensitive to the original colour scheme There have been major alterations to the front facades of the building
Risk/ Threat	The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	High Density development may allow for increased access to the site and economic and social significance of the site

## Conservation Management Policies\_ Commercial sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.2.6. Row of shops\_Stand 959

Address	87-89 Main Street
Stand No.	959
Current Zoning	Residential 4
Year of erection	Circa 1930
Architect	Unknown
Heritage Significance	Historical, architectural
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
Row of shops along main street, columns supporting decorative curvilinear canopy supported by precast columns. Alterations made to building are evident.	

### Locality map



Fig. 246 Locality plan of row of shops along Main street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**



## Identifying Image



Fig. 247 Row of shops along Main street  
(Source: tsica heritage consultants 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Corner shop is highly visual along Main Street recommended conservation no buildings should be erected on site, site is not recommended for demolition, or alteration that will alter its character.</p>
<p><b>Transport</b> Site is along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the shop fronts; any bus stops planned should not negatively impact on the visibility of the site</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is within a mixed use development zone</p>	<p><b>Recommendations</b> Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.</p>

## Conservation Management Policies\_ Grade 3A\_ Commercial Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are carried out usually in that space. Because of their importance in local heritage there are recommended for conservation and any changes done should be highly monitored by heritage specialists.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place Site can be accessed by the public and could be a good example of an original corner shop in the street
Weakness	Painting done was not sensitive to the original colour scheme There have been major alterations to the front facades of the building
Risk/ Threat	The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	High Density development may allow for increased access to the site and economic and social significance of the site

## Conservation Management Policies\_ Commercial sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.2.7. Nandos Building\_Stand 664

Address	117 Main Street
Stand No.	664
Current Zoning	Business 1
Year of erection	Circa 1930
Architect	Unknown
Heritage Significance	Historical, architectural, social
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>The story the first Nandos was established in Kenilworth at this same location in 1987 Fernando Duarte to invite his buddy Robbie Brozin to a small Portuguese eatery in Kenilworth, South Africa, to try some peri-peri marinated chicken. In his own words, "I knew nothing about the food business; I just knew that it was the best chicken I had ever tasted. It popularity quickly in an area that had a strong Portuguese presence, Nandos is now an international brand having about 1000 outlets in over 30 countries.</p>	

### Locality map



Fig. 248 Locality plan first Nandos along Main street  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Images



Fig. 249 First Nandos building in Kenilworth along Main street  
(Source: tsica heritage consultants 2015)



Fig. 250 First Nandos building in Kenilworth along Main street  
(Source: tsica heritage consultants 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Corner shop is highly visual along Main Street recommended conservation no buildings should be erected on site, site is not recommended for demolition, or alteration that will alter its character.</p>
<p><b>Transport</b> Site is along main BRT route transit spine</p>	<p><b>Recommendations</b> No street widening is recommended to conserve the shop fronts; any bus stops planned should not negatively impact on the visibility of the site.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed Use Development</b> Site is within a mixed use development zone</p>	<p><b>Recommendations</b> Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.</p>

## Conservation Management Policies\_ Grade 3A\_ Commercial Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are carried out usually in that space. Because of their importance in local heritage there are recommended for conservation and any changes done should be highly monitored by heritage specialists.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features are still in place Site can be accessed by the public and could be a good example of an original corner shop in the street
Weakness	Painting done was not sensitive to the original colour scheme There have been major alterations to the front facades of the building
Risk/ Threat	The site is located in an area of high density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	High Density development may allow for increased access to the site and economic and social significance of the site

## Conservation Management Policies\_ Commercial sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.2.8. Corner shop\_Stand 955

Address	52 Diering Street
Stand No.	955
Current Zoning	Residential 4
Year of erection	1928
Architect	Unknown
Heritage Significance	Cultural/ Historical
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
Plans of the proposed building shows that there have been little changes done to the building as it is almost in its original form, with columns supporting verandah which is typical of the 1920s.	

### Locality map



Fig. 251 Stand is located on the corner of Diering and Lindhorst Streets  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 955

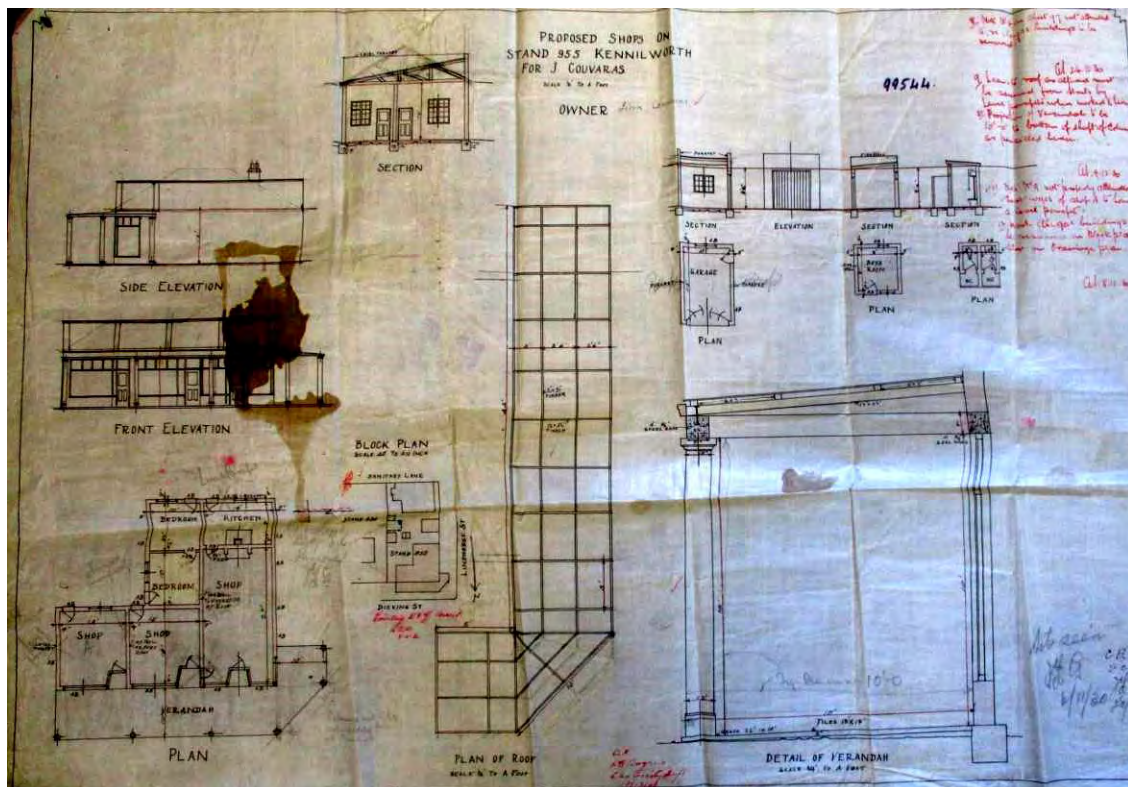


Fig. 252 Proposed plan to corner shop  
(Source: City Council of Johannesburg)

## Identifying Image



Fig. 253 Corner shop showing original corrugated roof  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Site is not in a high density development	<b>Recommendations</b> The site would not be affected by high density development, if one would be planned around it.
<b>Transport_Stations/Road Widening</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_ Grade 3A\_Commercial Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are carried out usually in that space. Because of their importance in local heritage there are recommended for conservation and any changes done should be highly monitored by heritage specialists.

## Swot Analysis

Analysis	Result
Strength	The site is in a fairly good condition some original features are in place Site can be accessed by the public and could be a good example of an original corner shop in the street
Weakness	Painting done was not sensitive to the original colour scheme Window schemes are not original
Risk/ Threat	The site is not located on a main BRT Trunk route, mixed use zone or high to medium density zone
Strength/Opportunity	Site continues to maintain its character and usage as it is surrounded by residential buildings

## Conservation Management Policies\_ Commercial sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict with the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 9.2.9. Corner shop\_Stand 918

Address	59-61 Van Hulsteyn Street
Stand No.	918
Current Zoning	Residential 4
Year of erection	1937
Architect	John Shaw
Heritage Significance	Architectural, social, commercial
Statement of Significance (Heritage importance grading system according to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
Plans of the proposed building shows that there have been little changes done to the building as it is almost in its original form, with columns supporting verandah which is typical of the 1930s.	

### Locality Map



Fig. 254 Locality map showing corner shop  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 918

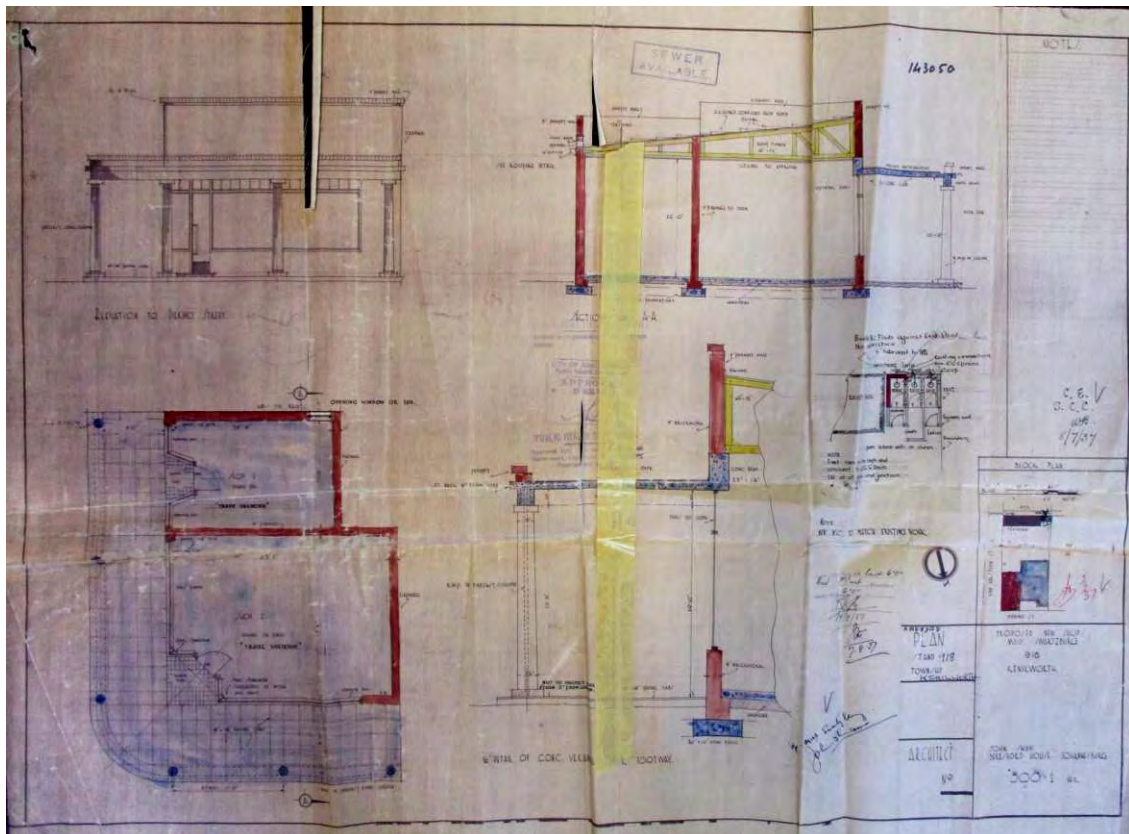


Fig. 255 Original plans showing drawings from 1937  
(Source: City Council of Johannesburg.)

## Identifying Image



Fig. 256 Corner shop along Diering Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<b>Densities</b> Site is not in a high density development	<b>Recommendations</b> The site would not be affected by high density development, if one would be planned around it.
<b>Transport_Stations/Road Widening</b> Site is not along main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social Cluster Development</b> No social cluster development is ear marked for this area	<b>Recommendations</b> Not applicable.
<b>Mixed Use Development</b> Site is not within a mixed use development	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_ Grade 3A\_ Commercial Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are carried out usually in that space. Because of their importance in local heritage there are recommended for conservation and any changes done should be highly monitored by heritage specialists.

## Swot Analysis

Analysis	Result
Strength	The site is in good condition some original features are in place Site can be accessed by the public and could be a good example of an original corner shop in the street
Weakness	Painting done was not sensitive to the original colour scheme Window schemes are not original
Risk/ Threat	The site is not located on a main BRT Trunk route, mixed use zone or high to medium density zone
Strength/Opportunity	Site continues to maintain its character and usage as it is surrounded by residential buildings

## Conservation Management Policies\_ Commercial sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict with the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development