

7.3 Identified sites of significance_Institutions within Orange Grove (Schools, Rec Centres, Libraries, Sporting)

Introduction

A detailed visual survey was done in the area and various institutions listed below were identified as having historical, architectural and social significance. Most of the residents lives or their histories are entwined with these sites and buildings. Most of the sites have well documented histories and most are in good condition with their integrity and character having been preserved throughout the decades. It was therefore for this reason that all the sites in this category were graded with a 3A grading explained below. We however also acknowledge that most of the private institutions mentioned below have a low risk profile as they cannot easily be changed however their immediate surroundings must continue to support the character of the significant sites. Public institutions being of different nature have a higher risk profile as development on the site could be attained more easily.

Grading

3A_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C_Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

Summary Table of identified sites in the institutional category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
RE/234; RE/235	Orange Grove Library_single storey low pitched late tiled building with wide roof overhang	3C	Possible major changes, documentation necessary
1151;1153	Freemason Hall_red face brick buildings	3A	Conservation highly recommended
1144; 1145; 1147; 1149	Grand Lodge of SA former Scout Hall	3A	Conservation highly recommended
52; 53	Paterson Park School_double storey red face brick building complex	3A	Conservation highly recommended

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
1070 - 1077	Queen Alexandra Retirement Home_single storey refurbished building complex	3C	Possible major changes, documentation necessary

7.3.1 Single storey building along Louis Botha Avenue_Library_Stand RE/234 & RE/235

Address	40 Thirteenth Street cnr Louis Botha Avenue
Stand No.	RE/234 & RE/235
Current Zoning	Residential 4
Year of erection	1950
Architect	City of Johannesburg, Engineers department
Heritage Significance	Social
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C
Site Description Single storey low pitched slate tiled building with wide roof overhang for sun protection. Typical public building design for the 1950's which is found in every suburb of Johannesburg.	

Locality Map

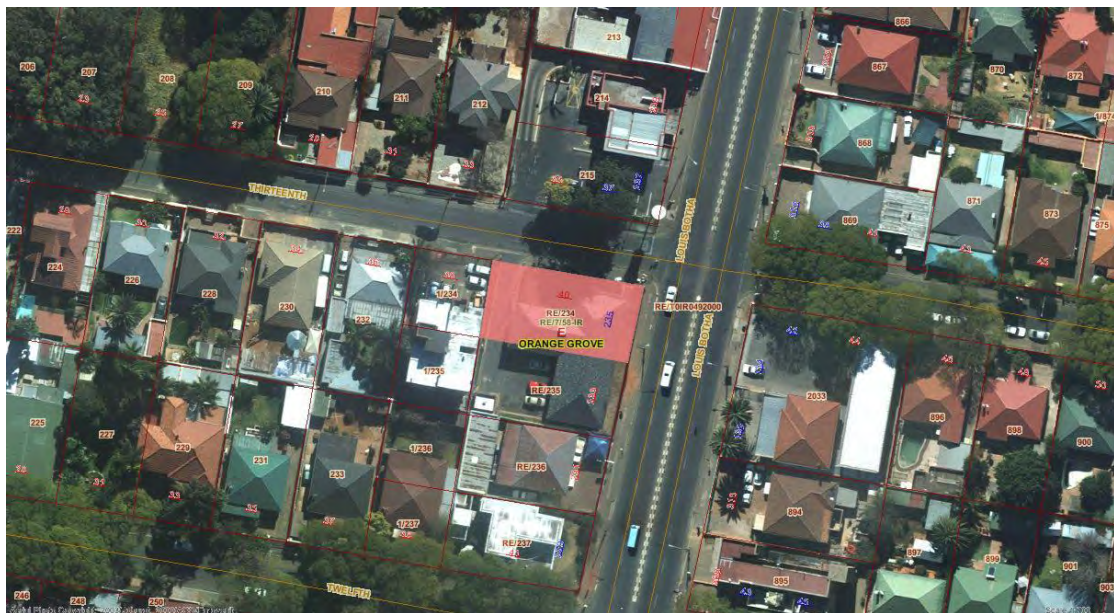


Fig. 82 Stands RE/234 & RE/235 are located on the south-western corner of Louis Botha Avenue and Thirteenth Street
(Source: City Council of Johannesburg, GIS map)

No original plans were sourced!

Identifying Images



Fig. 83 Single storey Library building located on the south-western corner of Louis Botha Avenue and Thirteenth Street with low pitched slate tiled roofing
(Source: tsica heritage consultants, 2015)



Fig. 84 Main entrance to Library along the southern side of Thirteenth Street
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	Recommendations Recommended for future development however full documentation should take place before changes are made to the building.
Transport Station and Street Widening Site is along main BRT route transit spine	Recommendations Such changes could be considered along this site but full documentation of the site should be taken into cognisance.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site is within a mixed-use development	Recommendations Site is already adjacent to mixed-used buildings. Higher densities could be considered for this site.

Conservation Management Policies_Grade 3C_Institutional sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that are usually important as part of a historical cluster or have many other examples existing in the suburb. There also could have been severely compromised as a result of non-sensitive changes. Where development happens therefore on a grade three site it is recommended that proper documentation of the site is made in some cases memorialisation considered before demolition and development takes place.

7.3.2 Single storey Freemason Hall and double storey building_Grand Lodge of SA_Stand 1151 & 1153

Address	75 Thirteenth Street
Stand No.	1151 & 1153
Current Zoning	Residential 1
Year of erection	Around 1930's
Architect	Unknown
Heritage Significance	Cultural/ Social/Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Purchased from the Methodist Church by the Grand Lodge of South Africa Trust around 25 years ago, the building structures are still in use by the Grand Lodge Society. The reddish brown face brick building cluster consists of the single storey Freemason hall and the double storey CLSA office building along the eastern side. Both buildings with their arched windows are still in a very good original condition.	

Locality Map



Fig. 85 Stands 1151 & 1153 are located along the northern side of Thirteenth Street within a residential building block
(Source: City Council of Johannesburg, GIS map)

No original plans were sourced!

Identifying Images



Fig. 86 Freemason Hall_south elevation along Thirteenth Street in residential area
(Source: tsica heritage consultants, 2015)



Fig. 87 CLSA double storey building_south elevation along Thirteenth Street in residential area
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 2-4 storeys	Recommendations Within the immediate surroundings of the site there are mostly single storey dwellings and an effort should be made to maintain the same building heights around the site.
Transport BRT Station is not planned in the immediate surroundings of the site	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site not within a mixed-use development zone	Recommendations Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.

Conservation Management Policies_Grade 3A_Institutional sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places where a lot of community programs and events take place they therefore occupy important spaces of historical and social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.

Swot Analysis

Analysis	Result
Strength	The site is in very good condition and original features are still in place, it has architectural significance with its association with the Freemason history in South Africa and is still used by Grand Lodge Society. Buildings have a unique well documented history.
Weakness	Not applicable
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	High Density development may allow for increased usage to the site and economic and social significance of the site

Conservation Management Policies_Institutional sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.3.3 Grand Lodge of SA_former Scout Hall_Stand 1144, 1145, 1147 & 1149

Address	69 Thirteenth Street
Stand No.	1144 & 1145 & 1147 & 1149
Current Zoning	Residential 1
Year of erection	1925
Architect	D. Macdonald Sinclair
Heritage Significance	Cultural/ Social
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Built in 1925, this building was originally used by the Methodist Church and more recently acquired by the Grand Lodge of South Africa Trust. From the outside the building structures have significantly altered with the original doorway completely sealed off from the street. However the structure still accurately resembles the original plan of the Scout Hall with the foundation stone still affixed to the outside wall of the building.	

Locality Map



Fig. 88 Stands 1144 to 1149 are located along the northern side of Thirteenth Street within a residential building block
(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 1145

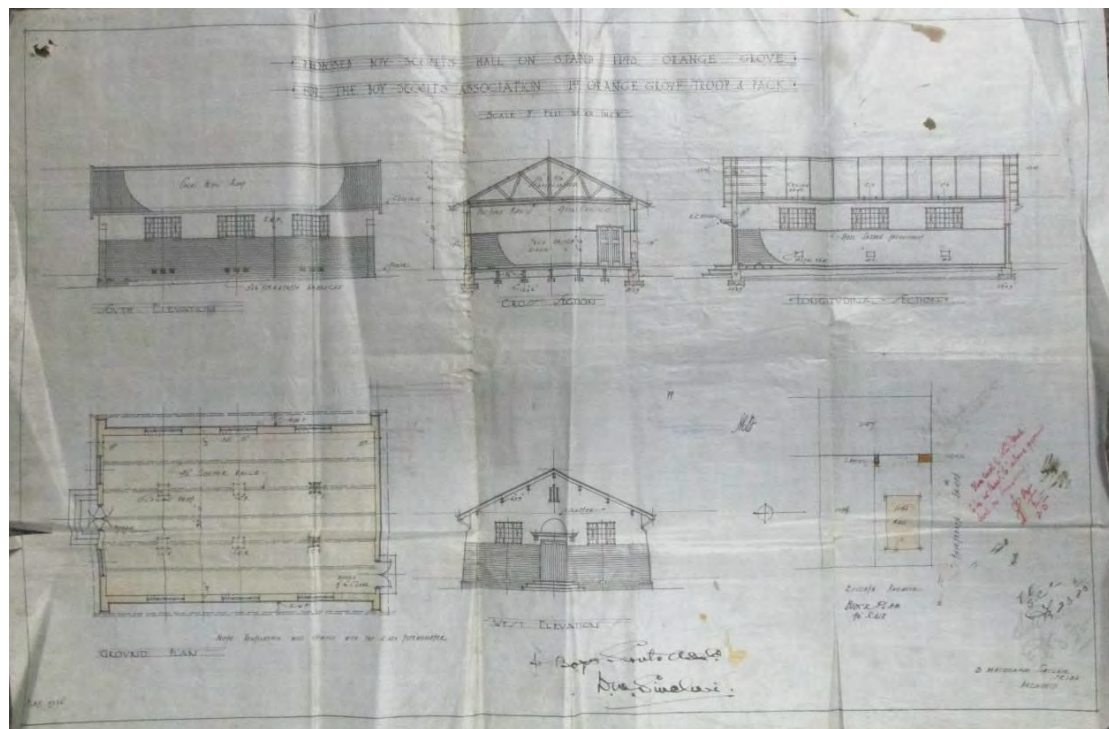


Fig. 89 Proposed new Scouts Hall on Stand 1145 in Orange Grove from 1925
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 90 Former Scout Hall from 1925 on the corner of Eighth Avenue and Thirteenth Street
(Source: tsica heritage consultants, 2015)



Fig. 91 West elevation along 8th Avenue of former Scout Hall from 1925
(Source: tsica heritage consultants, 2015)



Fig. 92 Foundation stone of former Scout Hall from 20th of June 1925
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 2-4 storeys	Recommendations Within the immediate surroundings of the site there are mostly single storey dwellings and an effort should be made to maintain the same building heights around the site.
Transport BRT Station is not planned in the immediate surroundings of the site	Recommendations Not applicable.
Social Cluster Development No social cluster development is earmarked for this area	Recommendations Not applicable.
Mixed-use Development Site not within a mixed-use development zone	Recommendations Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.

Conservation Management Policies_ Grade 3A_Institutional sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places where a lot of community programs and events take place they therefore occupy important spaces of historical and social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.

Swot Analysis

Analysis	Result
Strength	The site is in very good condition and original features are still in place, it has architectural significance with its association with the Freemason history in South Africa and is still used by Grand Lodge Society. Building structures have a unique well documented history.
Weakness	Not applicable
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected Original fabric of old buildings may be destroyed if converted for new uses
Strength/Opportunity	High Density development may allow for increased usage to the site and economic and social significance of the site

Conservation Management Policies_Institutional sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.3.4 Paterson Park Primary School_Stand 2007

Address	3 Tenth Street
Stand No.	2007
Current Zoning	Residential 1
Year of erection	1953
Architect	Unknown
Heritage Significance	Cultural/ Social/ Educational
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description The school was initially established in 1932 as the Johannesburg Seventh Day Adventist Church School. It was only in 1953 that the school moved to Orange Grove to its current face brick buildings and acquired its present name.	

Locality Map



Fig. 93 Stands 52 to 55 are located along the northern side of Tenth Street, East of Paterson Park North
(Source: City Council of Johannesburg, GIS map)

No original plans were sourced!

Identifying Images

Fig. 94 Double storey red face brick buildings from Paterson Park School with SDA Church



along the northern boundary line are located along the eastern section of Paterson Park North
(Source: tsica heritage consultants, 2015)



Fig. 95 Double storey red face brick buildings are located along the eastern section of Paterson Park North
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations It is important for ability of new buildings to fit into existing character of the streetscapes it is therefore recommended lower densities to surrounding.
Transport BRT Station is not planned in close proximity of the school	Recommendations Not applicable.
Social Cluster Development Area is identified as social cluster	Recommendations Improvement and introduction of social amenities around the school should contribute positively to the character and the ambience of the area surrounding the school.
Mixed-use Development Site not within a mixed-use development zone	Recommendations Site is already adjacent to residential buildings and building heights in this area are one to two storeys. It is recommended to maintain building heights around the site. But development can be encouraged further from the site.

Conservation Management Policies_Grade 3A_Institutional sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places where a lot of community programs and events take place they therefore occupy important spaces of historical and social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.

Swot Analysis

Analysis	Result
Strength	The site is in good condition and original features are still in place, it is aesthetically pleasing as the buildings and grounds are well kept
Weakness	Site is not visually accessible from the street only from Paterson Park side
Risk/ Threat	Proposed new development plans for Paterson Park might have a negative impact on existing heritage building structures and will overpower existing structures along the Park
Opportunity	High Density development may allow for increased usage to the site and economic and social significance of the site

Conservation Management Policies_Institutional sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.3.5 Queen Alexandra Retirement Home_Stand 1070 to 1077

Address	31 Sixteenth Street
Stand No.	1070 to 1077
Current Zoning	Residential 1
Year of erection	Founded in 1905
Architect	Unknown
Heritage Significance	Cultural/ Social
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C

Site Description
The Queen Alexandra Home was originally founded in 1905 by the Guild of Loyal Women as a convalescent home serving the old Johannesburg Hospital. In 1910 it became independent as an old age home and in 1947 a welfare organisation. In 1994 the buildings on site were refurbished when a new frail care unit was built.

Locality Map



Fig. 96 Stands 1070 to 1077 are located along the northern side of Sixteenth Street within a residential building block
(Source: City Council of Johannesburg, GIS map)

No original plans were sourced!

Identifying Image



Fig. 97 Main entrance gate of Queen Alexandra Home along the northern side of Sixteenth Street
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Recommended for future development however full documentation of historical background should take place before changes are made to the building.
Transport Station and Street Widening Site falls out of main BRT route transit spine	Recommendations Alterations and additions could be considered along this site but full documentation of the site should be taken into cognisance.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Single storey site falls within residential area and should not be considered for mixed-use development.

Conservation Management Policies_Grade 3C_Institutional sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that are usually important as part of a historical cluster or have many other examples existing in the suburb. There also could have been severely compromised as a result of non-sensitive changes. Where development happens therefore on a grade three site it is recommended that proper documentation of the site is made in some cases memorialisation considered before demolition and development takes place.

7.4 Identified sites of significance_Religious buildings within Orange Grove (Churches, Synagogues)

Introduction

Historically, religious buildings are an important indicator of the societal make up, therefore churches often hold an important historical repository. The churches continue to hold a social and spiritual significance in the community as places of worship. A visual street by street survey was done and all of the churches in the area mapped singled out as significant these were either significant because of their historical and architectural significance or because of the social standing they may have in the community. All the sites in this category were graded with 3A grading explained below only where a church building structure is used for a different purpose grading could be 3B or 3C. We however also acknowledge that most of the religious buildings mentioned below have a low risk profile as they cannot easily be changed however their immediate surroundings must continue to support the character of the significant sites.

Grading

3A_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C_Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

Summary Table of identified sites in the religious category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
51	Seventh Day Adventist Church	3A	Conservation highly recommended
2007	Orange Grove Hebrew Congregation now used as Hirsch-Lyons School	3C	Possible major changes, documentation necessary
1245 - 1249	St. Augustine Anglican Church	3A	Conservation highly recommended

7.4.1 Seventh Day Adventist Church_Stand 51

Address	2 Eleventh Street
Stand No.	51
Current Zoning	Residential 1
Year of erection	1949
Architect	D.M. Sinclair
Heritage Significance	Cultural/ Social/ Religious
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description The school was initially established in 1932 as the Johannesburg Seventh Day Adventist Church School. It was only in 1953 that the school moved to Orange Grove to its current buildings and acquired its present name.	

Locality Map



Fig. 98 Stand 51 is located along the southern side of Eleventh Street, East of Paterson Park North

(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 51

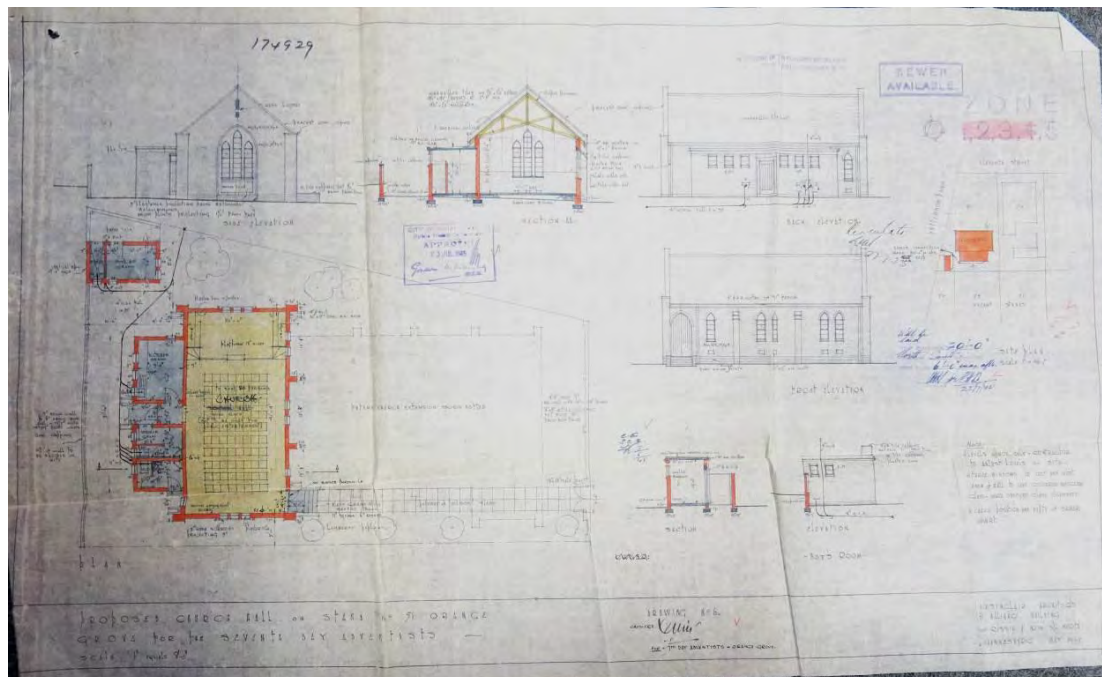


Fig. 99 Proposed Church Hall on Stand 51, Orange Grove for the Seventh Day Adventists
Plan was drawn in 1945 and Church building erected in 1949
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 100 Seventh Day Adventists Church with face brick façade and pointed arched long narrow windows
(Source: tsica heritage consultants, 2015)

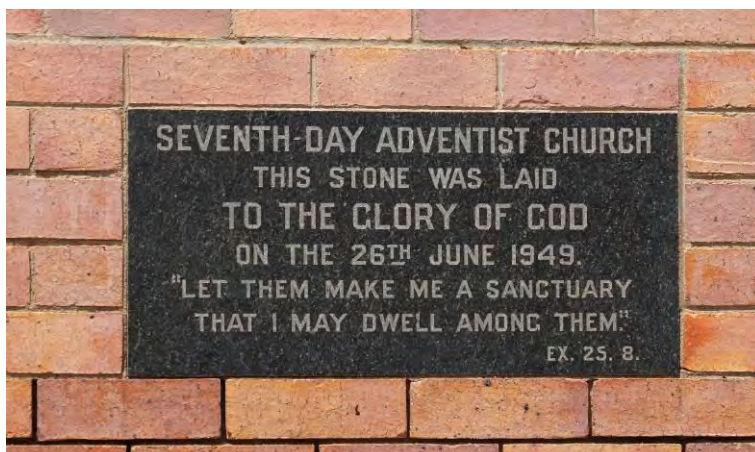


Fig. 101 Foundation Stone from the Seventh Day Adventists Church Hall erected in 1949
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	Recommendations Well preserved late 1940s yellow face brick church building is located within a residential area of Orange Grove and borders northern side of Paterson Park. Recommended lower densities to surrounding the building.
Transport Site falls out of main BRT route transit spine	Recommendations Not Applicable
Social Cluster Development Area is not identified as social cluster	Recommendations Not Applicable
Mixed Use Development Site not within a mixed use development zone	Recommendations Not Applicable

Conservation Management Policies_Grade 3A_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.

Swot Analysis

Analysis	Result
Strength	The site is in very good condition and original features are still in place. Site forms part of the building complex along the eastern boundary line of Paterson Park.
Weakness	No known weaknesses
Risk/ Threat	Higher densities development around the site could increase pressure on the site as more people would attend services
Opportunity	High density development may allow for increased usage to the site and economic and social significance of the site

Conservation Management Policies_Religious sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage building
- Make sure that no trees or structures introduced within a determined radius of the church building, obstruct or divert attention from the site
- Maintain a 360-degree view of the significant site

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the building if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Open access to site from Paterson Park side and secure access point
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.4.2 Orange Grove Hebrew Congregation (now used as Hirsch-Lyons School)_Stand 2007

Address	7 Ninth Street
Stand No.	2007
Current Zoning	Residential 1
Year of erection	1960's
Architect	Unknown
Heritage Significance	Cultural/ Social/ Religious
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3C
Site Description The single storey corrugated iron roof structure is owned by the Hebrew Congregation of Orange Grove and is now used as a school. It forms part of a cluster of building structures on the property. The building itself has no architectural significance but forms part of a socially important cluster of buildings along the eastern side of Paterson Park North.	

Locality Map



Fig. 102 Stand 2007 is located between Tenth Street to the North and Ninth Street to the South, East of Paterson Park North
(Source: City Council of Johannesburg, GIS map)

No original plans could be sourced!

Identifying Image

Monika Läuferts le Roux & Judith Muindisi, tsica heritage consultants
Office: 5th Avenue, 41 – Westdene – 2092 – Johannesburg; Tel: 011 477-8821
tsica.culturalheritage@gmail.com



Fig. 103 Single storey Hebrew Congregation building with pitched corrugated iron roofing along the northern side of Ninth Street east of Paterson Park North
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	Recommendations The site is owned by the Hebrew congregation is located within the residential area of Orange Grove and is currently used as a school. Recommended full research and documentation of the social history of the building if any alterations and additions should be done on site.
Transport Site falls out of main BRT route transit spine	Recommendations Not Applicable.
Social Cluster Development Area is not identified as social cluster.	Recommendations Not Applicable.
Mixed Use Development Site within a mixed use development zone.	Recommendations Not Applicable.

Conservation Management Policies_Grade 3C_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threats to the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.

7.4.3 St. Augustine Anglican Church_Stand 1245 to 1249

Address	83 Ninth Street
Stand No.	1245 to 1249
Current Zoning	Residential 1
Year of erection	1936
Architect	FLH Flemming
Heritage Significance	Architectural/ Cultural/ Social/ Religious
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description St Augustine's Anglican Church comprises of two church buildings along the northern side of Ninth Street. The older church building was built in 1936 by the well-known architect FLH Flemming and forms part of the residential area	

Locality Map



Fig. 104 Stands 1245 to 1249 are located along the northern side of Ninth Street within a residential block of Orange Grove
(Source: City Council of Johannesburg, GIS map)

[illegible]

CHURCH AT ORANGE GROVE JOHANNESBURG.
SCALE 1/8" = 1' 00"

1897
Will be laid
2-20"
last half 6"
Oct 1906

ZONE
1222.4

NO. 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647,

183

Identifying Images



Fig. 107 St Augustine Anglican Church in the background was originally designed by FLH Fleming in 1936 and in 1999 a new addition to the southern façade was erected (Source: tsica heritage consultants, 2015)



Fig. 108 Original main entrance to church by FLH Fleming (Source: tsica heritage consultants, 2015)



Fig. 109 Later built double storey church building (Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	Recommendations Well preserved site is located within a single storey residential area of Orange Grove. Recommended lower densities to surrounding the building, the building is prized original Fleming design.
Transport Site falls out of main BRT route transit spine	Recommendations Not Applicable
Social Cluster Development Area is not identified as social cluster	Recommendations Not Applicable
Mixed Use Development Site not within a mixed use development zone	Recommendations Not Applicable

Conservation Management Policies_Grade 3A_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.

Swot Analysis

Analysis	Result
Strength	<p>The site is in very good condition and original features are still in place, it has architectural significance with its association with Fleming typologies. Site is aesthetically pleasing as the buildings and grounds are well kept</p> <p>Buildings have a unique well documented history</p>
Weakness	No known weaknesses
Risk/ Threat	High density development around the site could increase pressure on the site as more people would attend services
Opportunity	<p>High density development may allow for increased usage to the site and economic and social significance of the site</p> <p>Create historical clusters that can form part of historically important sites, heritage routes/tourist routes</p>

Conservation Management Policies_Religious sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Make sure that no trees or structures introduced within a determined radius of the main building structures, obstruct or divert attention from the site
- Maintain a 360-degree view of the significant site

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site if alterations or additions are to be made
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5 Identified sites of significance_Residential buildings within Orange Grove (Semi-detached, freestanding)

Introduction

Residential buildings are buildings that are generally used for residential purposes or have been zoned for residential usage. It must be noted the majority of residences are over 60 years, it was therefore imperative for detailed visual study to be done where the most significant buildings were mapped out. Their significance could be as a result of them being associated to prominent figures, association with special events, design patterns of a certain period in history, rarity or part of an important architectural school. Most of the sites identified in this category are of importance in their local contexts and are representative of the historical and cultural patterns that could be discerned from the built environment. All the identified sites were given a 3A category explained below.

Grading

3A_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C_Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

Summary Table of identified sites in the residential category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
81; 85; 87; 91; 93	Semi-detached single storey buildings with central gable and stoeps on either sides	3A	Conservation highly recommended
558; 595; 596	Single storey freestanding building with one sided gable and corner stoep adjacent	3A	Conservation highly recommended
612; 613; 614	Single storey L-shaped freestanding buildings with triangular gable and adjacent front stoep	3A	Conservation highly recommended
690; 692; 694	Single storey freestanding building with one sided gable and corner stoep adjacent	3A	Conservation highly recommended

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
200	Four single storey row housing, stoep opening on to the sidewalk	3A	Conservation highly recommended
743	Single storey freestanding corner building with centrally located stoeps on each side_decorative face brick	3A	Conservation highly recommended
661	Single storey freestanding corner building with centrally located stoep with wooden support detail	3A	Conservation highly recommended
391	DG&L Court_double storey residence with centrally located decorative front gable	3A	Conservation highly recommended
216	Single storey freestanding residence with centrally located front stoep, half rounded bay windows and corrugated iron roofing	3A	Conservation highly recommended
1/459	Single storey freestanding residence with centrally located front stoep and corrugated iron roofing	3A	Conservation highly recommended
463	Single storey freestanding residence with centrally located front stoep and corrugated iron roofing	3A	Conservation highly recommended
658; 659; 660	Single storey freestanding building with centrally located stoep	3A	Conservation highly recommended
1033	Double storey residential building with roof overhang and window bands	3A	Conservation highly recommended
2023	Single storey freestanding building with one sided gable and corner stoep adjacent	3A	Conservation highly recommended
975	Single storey freestanding building with centrally located stoep	3A	Conservation highly recommended
450	Double storey residential building with expressionistic details in main façade	3A	Conservation highly recommended

7.5.1 Semi-detached single storey row housing_Stand 81, 85, 87, 91 & 93

Address	8; 12; 14; 18; 20 Tenth Street
Stand No.	81; 85; 87; 91; 93
Current Zoning	Residential 1
Year of erection	1932/33
Architect	Frank Lawson
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A

Site Description

In 1933 Mrs A.B. Kramer commissioned the architect Frank Lawson to design a number of semi-detached cottages along the southern side of Tenth Street right next to Paterson Park North. The design layout for all houses was identical and consisted of a main triangular gable centrally located and stairs leading to a stoep on either side of the building. The two bedroom cottages were simple but functional designed to accommodate a small family. The series of central triangular gables along the southern side of Tenth Street creates a cohesion of Street architecture and well balanced streetscape in a residential area.

Locality Map



Fig. 110 Stands 81 to 93 are located along the southern side of Tenth Street within a residential area of Orange Grove

(Source: City Council of Johannesburg, GIS map)

Original plans for Stands 81 to 91

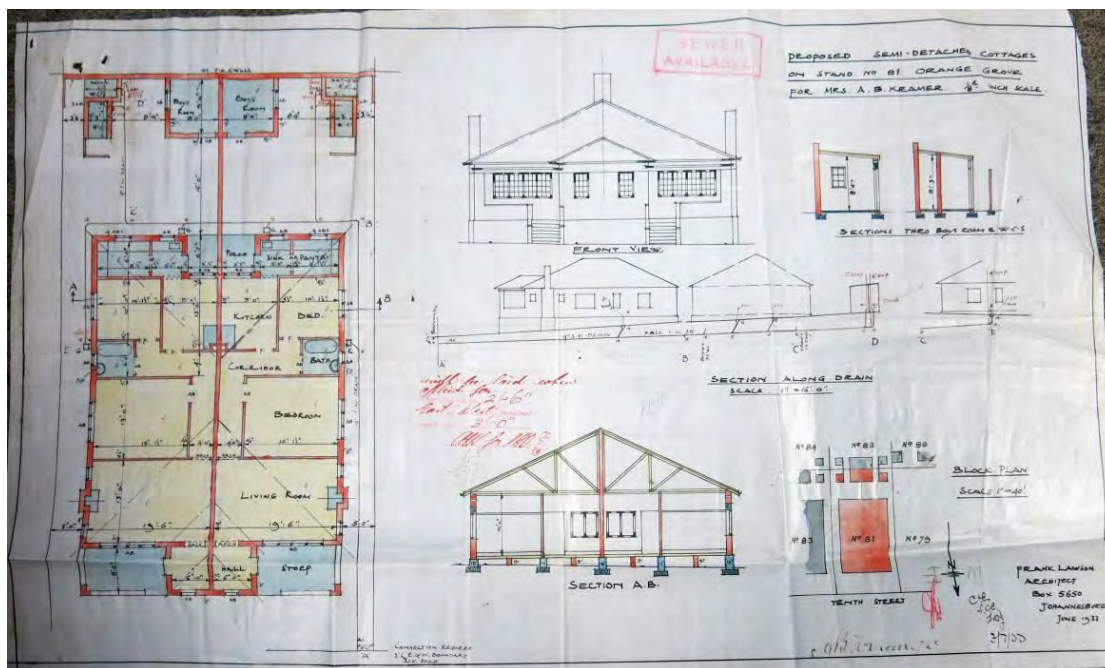


Fig. 111 Plan for proposed semi-detached cottages, Stand 81
(Source: City Council of Johannesburg, Plans Archive)

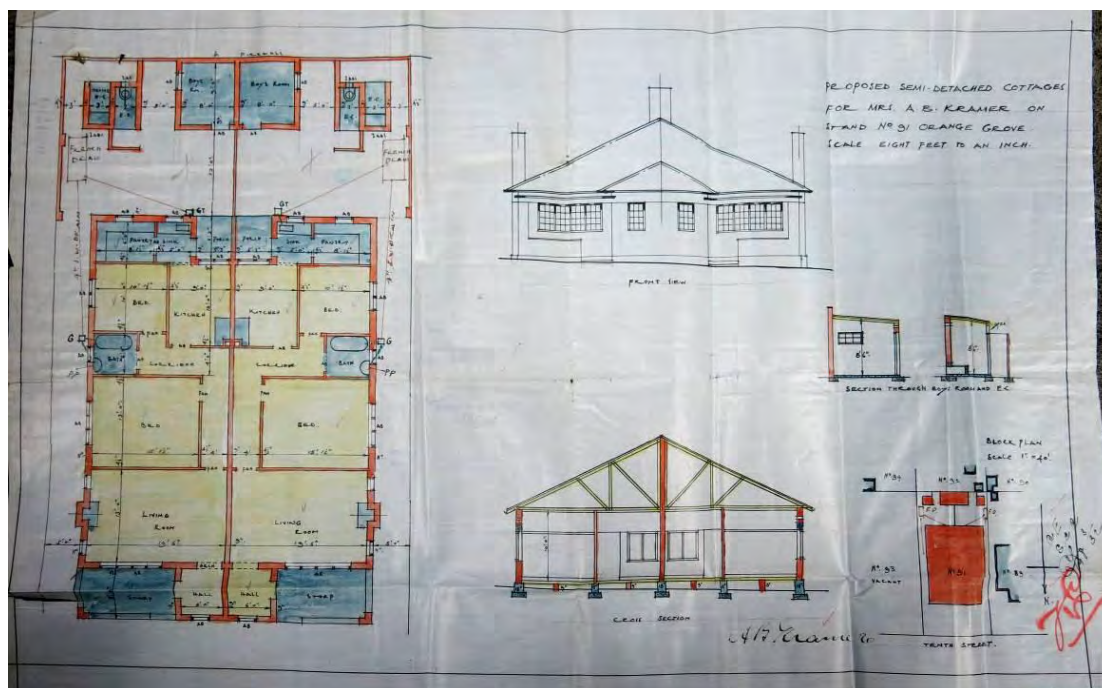


Fig. 112 Plan for proposed semi-detached cottages, Stand 91
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 113 Semi-detached row housing along the southern side of Tenth Street creating a historical Streetscape leading towards Paterson Park
(Source: tsica heritage consultants, 2015)



Fig. 114 Semi-detached row housing along the southern side of Tenth Street, here Stand 85
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Row of single storey semi-detached residences from the 1930s form part of a unique streetscape within Orange Grove and it is therefore recommended that the streetscape needs to be preserved and any new development along the street line must not exceed 2 storeys.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Sites fall out of mixed-use development	Recommendations Sites are surrounded by single storey residences and it is recommended to maintain building heights around the sites to maximum two storeys to maintain historical streetscape.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Most of the semi-detached residences are still in good condition and some of the original features are still in place
Weakness	Individual alterations and additions to the buildings diminished original streetscape design
Risk/ Threat	The sites are located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Medium density development may allow for increased access to the site and economic and social significance of the sites Economic potential due to the site's location in close proximity to commercial spine

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in

accordance with the National Heritage Resources Act of 1999 section 34 or section 36

- Public facilitation takes place prior to any development

7.5.2 Freestanding residential buildings with semi-dutch gable_Stand 558, 595 & 596

Address	2; 3; 4 Second Avenue
Stand No.	558; 595; 596
Current Zoning	Residential 1
Year of erection	1910
Architect	M. J. Harris
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description In 1910 Mr H. Kaplan commissioned the architect M.J. Harris to design five houses in the same design layout along Second Avenue in Orange Grove on the border to Mountainview. The main façade consisted of a one sided triangular gable with centrally located stairs leading on to the stoep. The three bedroomed house floor plan had a bathroom and a fireplace in the dining room.	

Locality Map

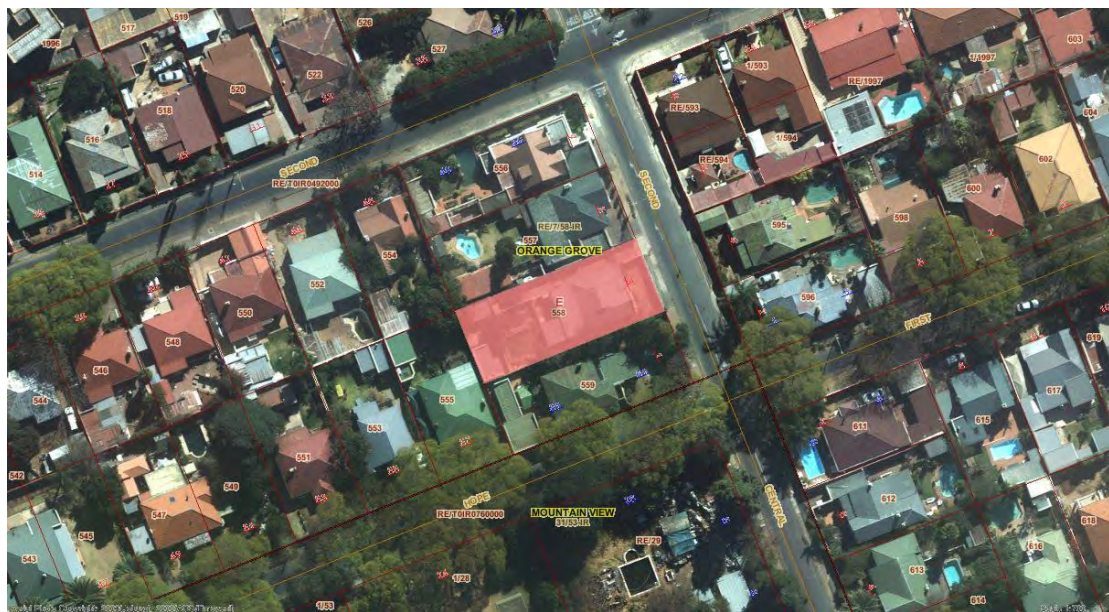


Fig. 115 Stands 558, 595 and 596 are located along the eastern and western sides of Second Avenue within a residential area of Orange Grove
(Source: City Council of Johannesburg, GIS map)

Original plans for Stands 558, 587, 595, 596 and 621

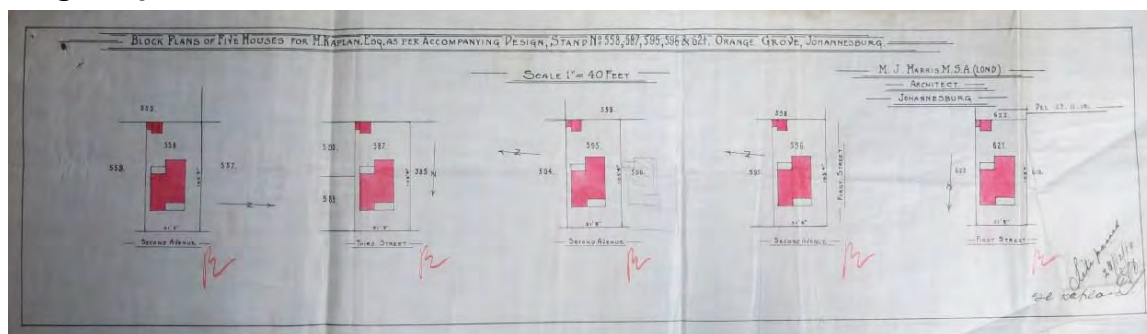


Fig. 116 Block plan for five houses for H. Kaplan as per accompanying design, Stand 558, 587, 595, 596 and 621 in Orange Grove
(Source: City Council of Johannesburg, Plans Archive)

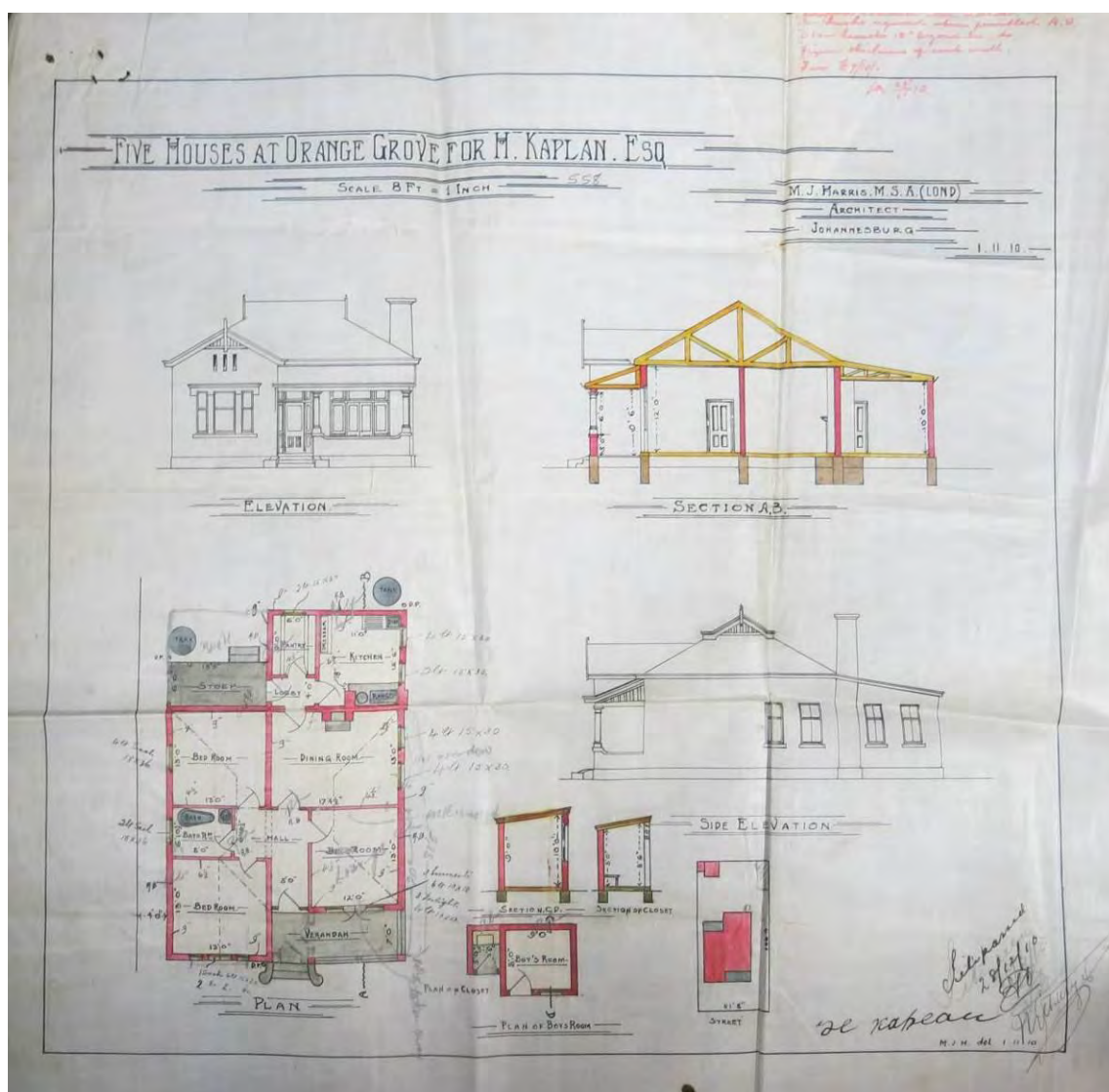


Fig. 117 Plan for five houses in Orange Grove, 1910
Originally designed with one sided triangular gable along the main façade
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 118 Two semi-dutch gabled buildings along the north-eastern side of Second Avenue, Stands 595 and 596
(Source: tsica heritage consultants, 2015)



Fig. 119 Semi-dutch gabled building along the south-western side of Second Avenue, Stand 558
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Row of single storey semi-detached residences from the 1930s fall within a historical cluster and form part of a unique streetscape within Orange Grove and it is therefore recommended that the streetscape needs to be preserved and any new development along the street line must not exceed 2 storeys.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Sites fall out of mixed-use development	Recommendations Sites are surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys within the historical cluster.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Semi-dutch gabled residences are still in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The sites are located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Sites fall within historical cluster and will keep integrity within the area north of Mountainview as a proposed conservation area Economic potential due to the site's location in close proximity to commercial spine

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate sites into tourism route
- Develop conservation area between Louis Botha Avenue and Mountainview
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in

accordance with the National Heritage Resources Act of 1999 section 34 or section 36

- Public facilitation takes place prior to any development

7.5.3 Freestanding residential buildings with triangular gable_Stand 612, 613 & 614

Address	2, 4, 6 Central Road
Stand No.	612; 613; 614
Current Zoning	Residential 1
Year of erection	1909
Architect	D. M. Burton
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description In 1909 Mr B. Saperstein commissioned the architect D.M. Burton to design two identical houses along former Second Avenue in Orange Grove on the border to Mountainview. The one sided triangular gable and the front stoep of the two bedroomed house were used as a main features and are still visible from the street. These houses must have been one of the first houses in Orange Grove after its establishment in 1904.	

Locality Map



Fig. 120 Stands 612, 613 and 614 are located along the eastern side of Central Road within a residential area of Orange Grove on the border of Mountainview
(Source: City Council of Johannesburg, GIS map)

Original plans for Stands 612, 613 and 614

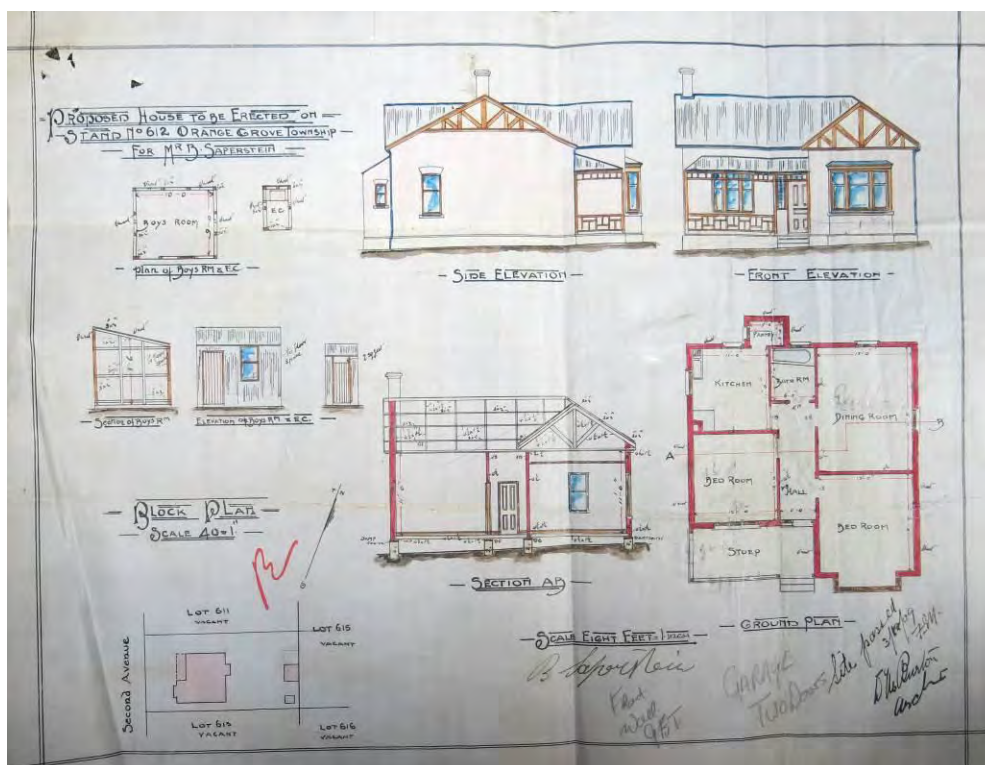


Fig. 121 Plan for proposed house to be erected on Stand 612, Orange Grove (Source: City Council of Johannesburg, Plans Archive)

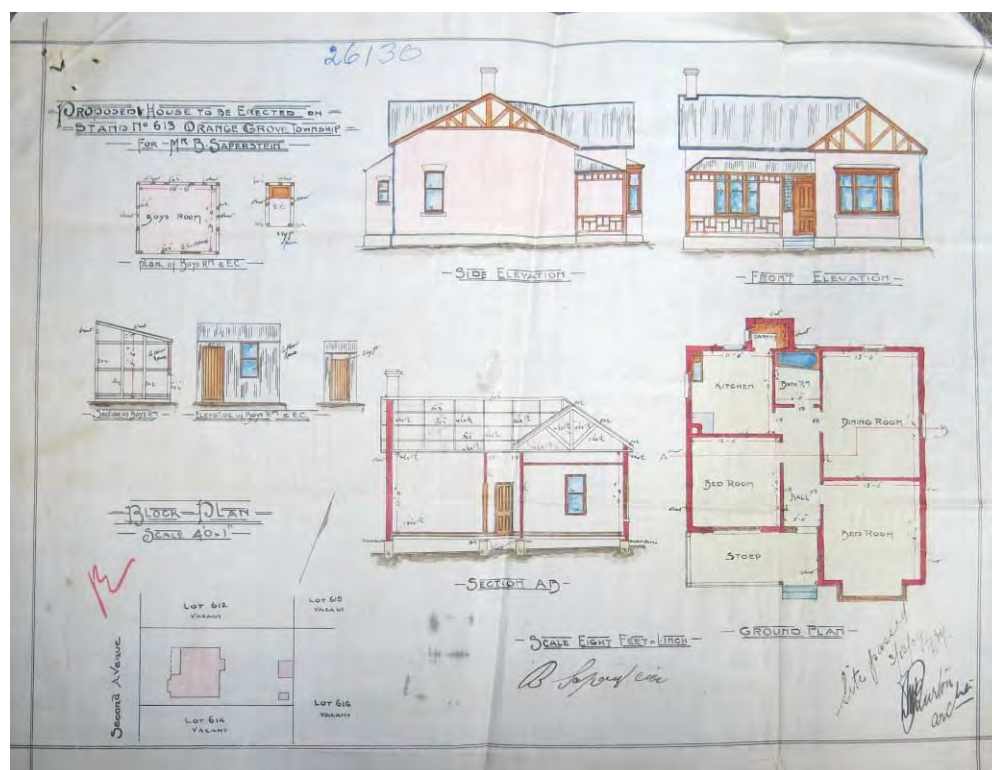


Fig. 122 Plan for proposed house to be erected on Stand 613, Orange Grove (Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 123 One sided triangular gable with front stoep and pitched corrugated iron roofing
(Source: tsica heritage consultants, 2015)



Fig. 124 One sided triangular gable with front stoep and pitched corrugated iron roofing
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Row of single storey freestanding residences from around 1910 form part of a historical cluster and represent a unique historical streetscape within Orange Grove and it is therefore recommended that the buildings and streetscape need to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Sites fall out of mixed-use development	Recommendations Sites are surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys within the historical cluster.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Two freestanding residences from around 1910 are still in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The sites are located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Sites fall within historical cluster and will keep integrity within the area north of Mountainview as part of a proposed heritage route

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate sites into tourism route
- Develop conservation area between Louis Botha Avenue and Mountainview

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.4 Freestanding residential buildings with one sided semi-dutch gable and corner front stoep_Stand 690, 692 & 694

Address	78; 80; 82 Second Street
Stand No.	690; 692; 694
Current Zoning	Residential 1
Year of erection	1911 (Application of Approval for Stand 690 for new building_ motor shed)
Architect	Heather Williams
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description The three remaining single storey freestanding buildings forming part of the historical streetscape preservation in Orange Grove. The residences from around 1920's show a good example of double gabled elevations with a corner stoep supported by a row of columns and natural stone plinth.	

Locality Map

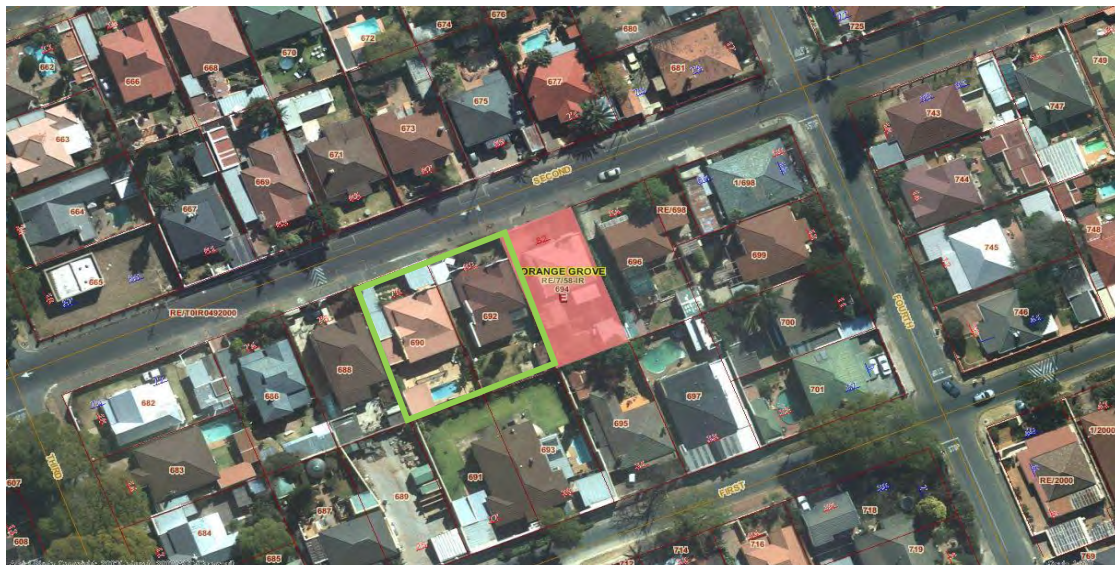


Fig. 125 Stands 690, 692 and 694 with similar building typology on each Stand are located along the southern side of Second Street within a residential area of Orange Grove (Source: City Council of Johannesburg, GIS map)

Original Application for Approval of Plans for Stand 690

Municipal Council of Johannesburg.
Application for Approval of Plans.

WARNING.—ELECTRIC CABLES.
Builders and others are hereby cautioned that any person interfering with ELECTRIC CABLES either above or below ground will be rigorously prosecuted and held liable for damages.
ELECTRIC CABLES ARE DANGEROUS TO TOUCH.

LIGHTNING.
The attention of the public and property owners is directed to the damage from lightning in the Transvaal, which is very much greater than in countries in Europe and America, and it is strongly recommended that in all rooms a bar, band or strip of iron or copper should be attached metallically to the feet or ends of downpipes and the lower end carried down into damp earth or into a bed of charcoal or other material in the earth or preferably metallically united to the water service pipe.

FOR USE IN
Town Engineer's Department.

Building / Damage: 1911
Fees Payable £ 2.10
Paid 10/11 3 FEB 1911
Received 10/11
Period 10/11
Estimated Cost 10/11
Inspector's Value 10/11
Plan No. 29523
General
Accommodation: 10/11
Commenced 10/11
Foundations 10/11
Drains 10/11
Cost 10/11
Post 10/11
Finished 10/11

To the TOWN ENGINEER,
MUNICIPAL COUNCIL OF JOHANNESBURG.

I herewith beg to submit Plans, Sections, and Elevations for New Building
(New Building, Alteration, Addition or Drainage.)

Motor Shed
under the Domestic
(Insert whether of Public Building, Warehouse, Office or Domestic Building Class.)

Class to be executed by me on Stand No. 690
such Stand having frontage to Second Township Orange Street
submit the following proposed means of construction and other particulars:—
External Walls to be built of Wood & Iron If Brick, state quality
Internal Walls to be built of Wood & Iron If Brick, state quality
Mortar in Walls to be composed of Cement & Sand
Damp Course to be of Concrete
Foundations to be of Concrete
Roof to be covered with Iron
Stairs—width of Going 4 ft Height of Riser 6 in.
Minimum Height of Floor above Ground 4 ft
(Floors of Stables and Closets are to be of impervious material—to be coloured grey on plans).

Scantlings of Timber:

	Inches	Inches	Inches	apart
Ground Floor Joists	x	spaced		apart
First Floor Joists	x	spaced		apart
Other Floors	x	spaced		apart
Roof Ceiling	x	spaced		apart
Roof Rafters	4 1/2	x 1 1/2	spaced	8.6 apart

Means of Water Supply

NOTE.—Applicants are recommended to acquaint themselves with the Water By-Laws of the Council.

Drainage Arrangements:

Material of Sewage Drains Concrete
Soil Pipes Concrete
Waste Pipes Concrete (State if Trapped and Anti-Syphoned)
Ventilation Shafts Concrete

Habitable Rooms.—Will the Window Space be at least 1/10th area of Floor?
Will there be Gutters and Down Pipes on Roof?
Closets.—Will each be provided with at least 2 sq. ft. of light and ventilation?
Waste Water.—How disposed of Whether in Tanks or Visible Pore Tranches

Architect (if any) Heather Williams
Address of ditto Box 2077 Johannesburg
(Signature of Owner) Heather Williams

OWNER IS ALSO TO SIGN PLANS.

P.O. Address of Owner Heather Williams

NOTE.—Extra particulars are to be furnished in regard to Public Buildings, High Buildings, and Fire-Proof Structures.
Statistical proofs to be given of Steel Roof or other Trusses.
PUBLIC BUILDINGS.—Applicants for approval of Plans of Public Buildings should ascertain for themselves the requirements of the Health and Fire Departments regarding fire appliances before submitting plans to the Town Engineer. The Fire Department should also be notified regarding all buildings in which fire appliances are required by the Fire By-Laws.

Fig. 126 No original plans could be sourced for Stands 690, 692 and 694, only available document was Application of Approval of plans from 1911 for new building (a motor shed) on Stand 690
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 127 Double sided semi-dutch gabled building on Stand 694 with corrugated iron roofing and front stoep around the corner and second gable along side elevation
(Source: tsica heritage consultants, 2015)



Fig. 128 Additional semi-dutch gable along the western side elevation, stoep roof is supported by row of Ionic columns and natural stone plinth used as base supporting element
(Source: tsica heritage consultants, 2015)



Fig. 129 Double semi-dutch gabled building along the southern side of Second Street later added tiled roof
(Source: tsica heritage consultants, 2015)



Fig. 130 Double semi-dutch gabled building with second gable along the western side of the building, front stoep partly enclosed
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Row of single storey freestanding residences from around 1910 form part of a unique streetscape within Orange Grove and it is therefore recommended that the streetscape needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Sites fall out of mixed-use development	Recommendations Sites are surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys within close proximity of a historical cluster.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	The two freestanding residences are still in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The sites are located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Sites fall in close proximity of a historical cluster and will form part of intact historical streetscape from around 1910, sites need to be included in heritage route

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate sites into tourism route
- Develop conservation area between Louis Botha Avenue and Mountainview

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.5 Four attached row houses with fire wall separation_Stand 200

Address	55, 57 6 th Street cnr 6 th Avenue
Stand No.	200
Current Zoning	Residential 3
Year of erection	1927
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description The four attached row houses were built in 1927 and form part of a historical streetscape in close proximity to Louis Botha Avenue. All buildings were recently restored to original state and mirror a good understanding of late 1920's Edwardian design style. The direct connection of the front stoeps towards the sidewalk and street life is a rare example of its kind in Orange Grove.	

Locality Map

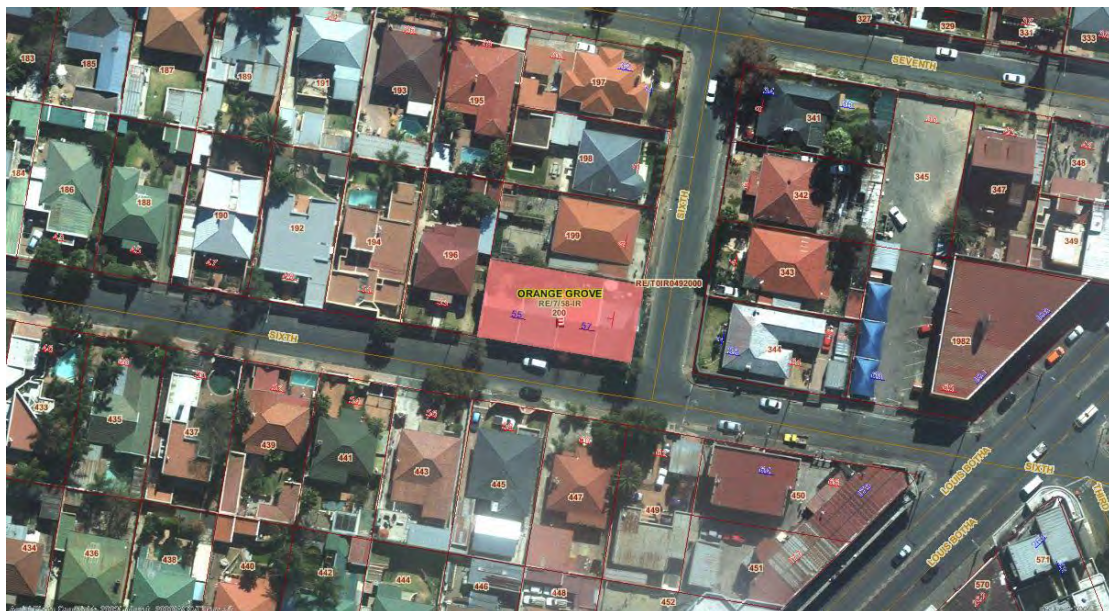


Fig. 131 Stand 200 is located along the northern side of 6th Street in close proximity to the western side of Louis Botha Avenue within a residential area of Orange Grove (Source: City Council of Johannesburg, GIS map)

AMENDMENT TO STAND 100 ORANGE GROVE FOR O. LUBOMIRSKI

O. Lubomirski

SECTION A-A

ELEVATION EAST

FLOOR PLAN

ELEVATION WEST

PLAN

Dimensions and notes are present throughout the drawings, including room names like 'Bed Room', 'Bath', 'Kitchen', and 'Passage'.

216

Identifying Images



Fig. 133 Attached row houses along the northern side of 6th Street with corrugated iron roofing and front stoeps along the sidewalk
(Source: tsica heritage consultants, 2015)



Fig. 134 East elevation along 6th Avenue on the corner of 6th Street and 6th Avenue, all four houses were restored by the well-known architect Mira Fassler Kamstra and are in very good original condition
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Row of single storey residences from 1927 form part of a unique streetscape within Orange Grove and it is therefore recommended that the buildings and streetscape needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Sites fall out of mixed-use development	Recommendations Sites are surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residences.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Row of residences form part of a unique, historical streetscape and are still in a very good condition and most of the original features are still in place, like stoeps along the sidewalk
Weakness	Not applicable
Risk/ Threat	The sites are located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved sites fall within historical streetscape and could form part of historical walking tour in close proximity to Louis Botha Avenue Economic potential due to the site's location in close proximity to commercial spine

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate sites into tourism route

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.6 Freestanding residential buildings with centrally located stoep_Stand 743

Address	90 Second Street & cnr Fourth Avenue
Stand No.	743
Current Zoning	Residential 1
Year of erection	1933
Architect	Nelly Edwards
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history; (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa; and
Proposed SAHRA Grading	3A
Site Description The single storey freestanding residence was designed by Nelly Edwards, a well-known female architect of the 1930's. She also was responsible for the design of the Radium Beer Hall and was part of shaping the look of Orange Grove at a particular time period.	

Locality Map



Fig. 135 Stand 743 is located along the southern side of Second Street on the south-eastern corner of Second Street and Fourth Avenue within a residential area of Orange Grove (Source: City Council of Johannesburg, GIS map)

Original plan for Stand 743

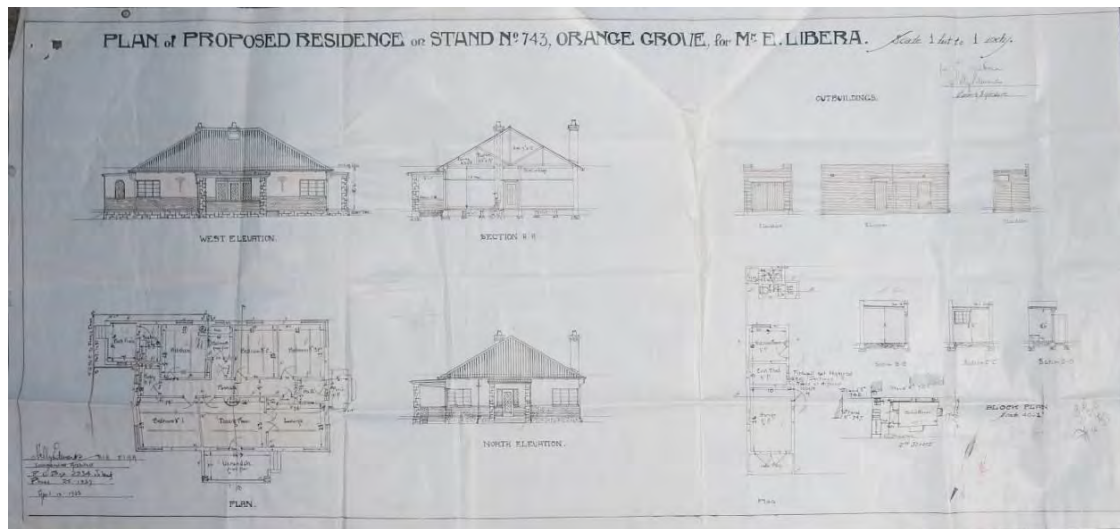


Fig. 136 Plan for proposed residence on Stand 743, Orange Grove from 1933
 The architect for the residence is Nelly Edwards, she designed the Radium Beer Hall in 1929
 (Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 137 Single storey freestanding building with two separate entrances along Second Street and Fourth Avenue
(Source: tsica heritage consultants, 2015)



Fig. 138 The tiled roof building shows fine face brick detailing along the façades and corner windows opening the façade to the sides
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Freestanding single storey corner residence from 1930s forms part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Sites fall out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Freestanding residence forms part of a unique streetscape and is still in a very good condition and most of the original features are in place Residence is one of the few remaining building designs from Nelly Edwards (Architect of the Radium Beer Hall)
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved early 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove in close proximity of historical cluster

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity

- Integrate sites into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.7 Freestanding residential buildings with centrally located front stoep_Stand 661

Address	31 Third Street & cnr Sixth Street
Stand No.	661
Current Zoning	Residential 1
Year of erection	1924
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Typical single storey freestanding residence from the 1920's with corrugated iron roofing and centrally located front stoep with main entrance, building corners are accentuated with corner stones and stoep roof is supported with painted brick pillars.	

Locality Map



Fig. 139 Stand 661 is located along the eastern of the triangular shaped block between Sixth and Third Streets in close proximity to the eastern side of Louis Botha Avenue in Orange Grove (Source: City Council of Johannesburg, GIS map)

Original plan for Stand 661

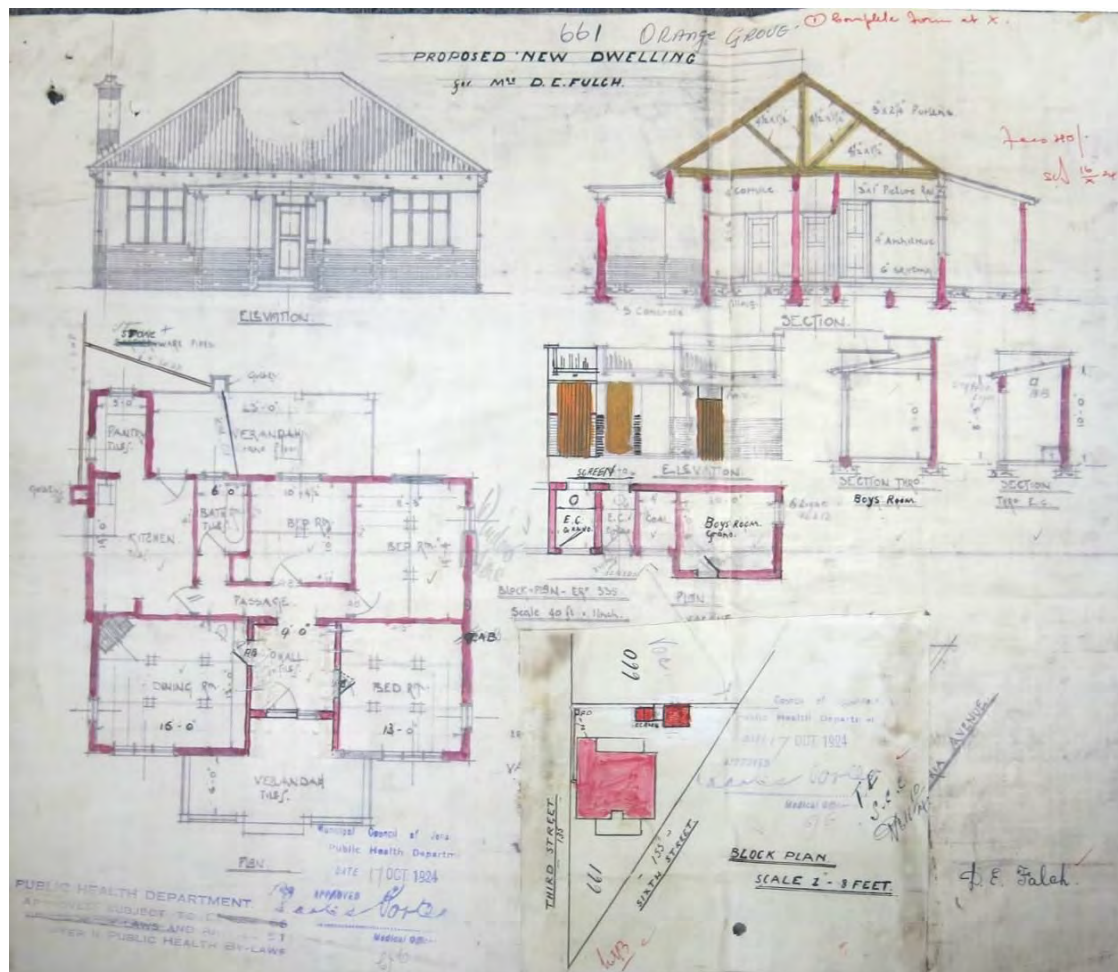


Fig. 140 Plan for proposed new dwelling on Stand 661, Orange Grove from 1924
 Good example of building typology of the 1920's which can be found all over Johannesburg's suburbs
 (Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 141 Single storey freestanding residence with corrugated iron roofing and centrally located front stoep with main entrance, building corners are accentuated with corner stones and stoep roof is supported with painted brick pillars
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Freestanding single storey corner residence from 1920s form part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Typical freestanding residence with centrally located stoep forms part of a unique streetscape and is still in a very good condition and most of the original features are still in place
Weakness	Building is only partly visible because of high wall
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved early 1920s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

-

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.8 Double storey apartment block with centrally located decorative front gable_DG&L Court

Address	17 Fourth Street
Stand No.	391
Current Zoning	Residential 1
Year of erection	1938
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Double storey apartment building from the late 1930's with enclosed balconies on first floor level and centrally located decorative gable.	

Locality Map

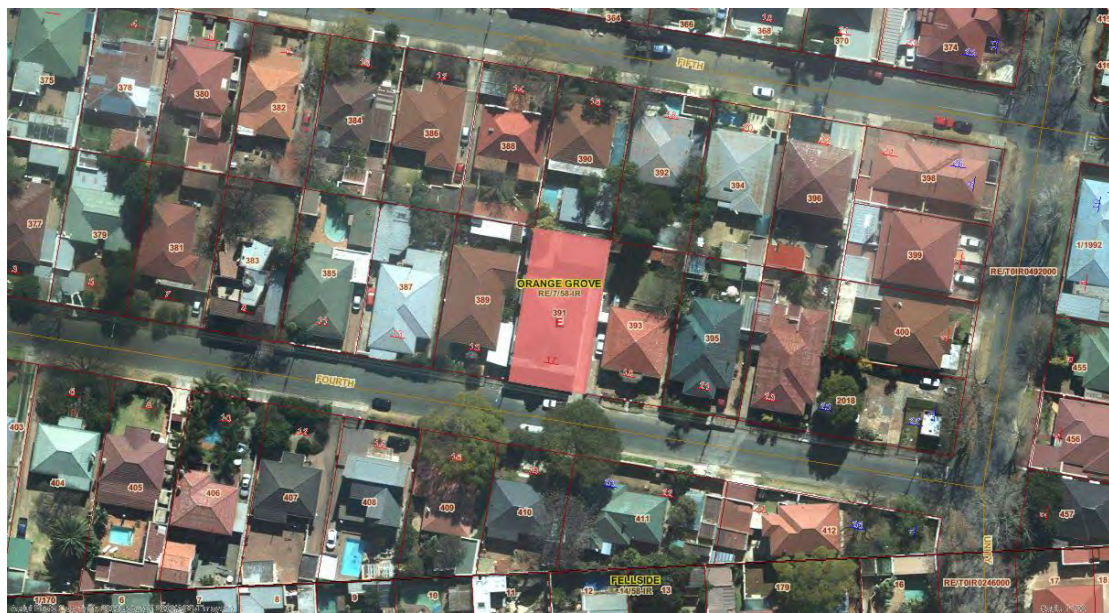


Fig. 142 Stand 391 is located along the northern side of Fourth Street in the south-western corner of Orange Grove within a residential area
(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 391

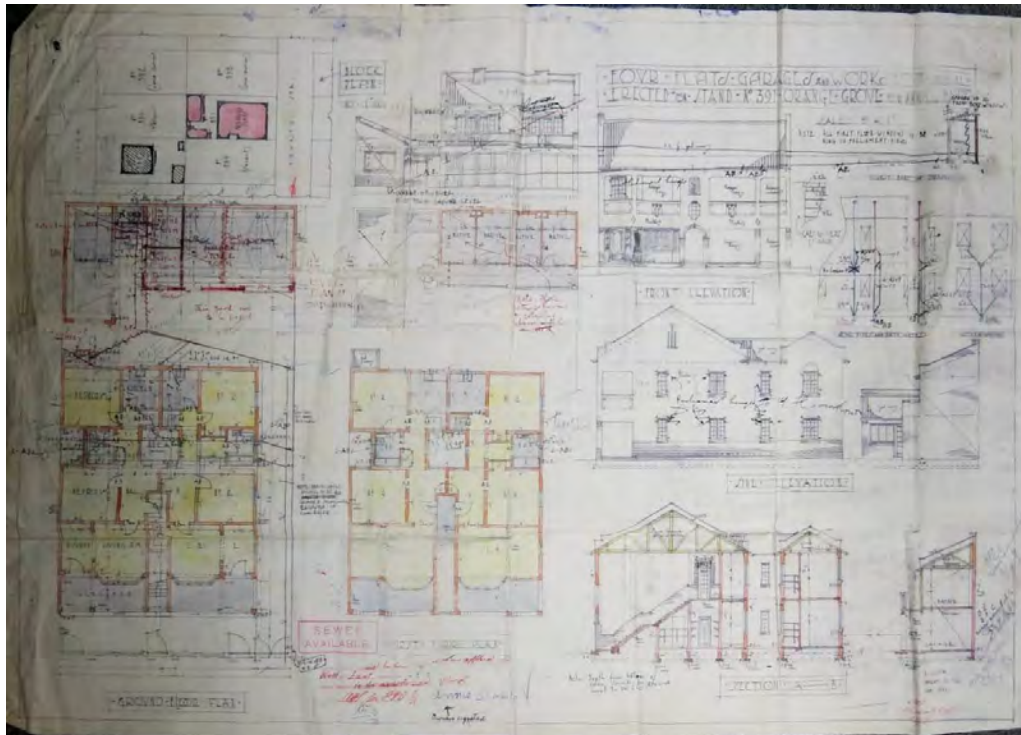


Fig. 143 Plan for proposed four flats, garage and workshop on Stand 391, Orange Grove from 1938

Good example of building typology of the 1930's, former balconies on first floor level enclosed (Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 144 Double storey apartment building with enclosed balconies on first floor level and centrally located decorative gable (Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations The double storey building is a unique example of a well conserved Art Deco court in the area it therefore recommended that new buildings do not detract, overpower or it is therefore recommended up to double storey densities be planned around this building.
Transport Site falls out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights around the site.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	The site is in good condition and there are original features still in place
Weakness	Alterations like enclosing the balconies on first floor level
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Medium density development may allow for increased access to the site and economic and social significance of the site Economic potential due to the site's location and reuse

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in

accordance with the National Heritage Resources Act of 1999 section 34 or section 36

- Public facilitation takes place prior to any development

7.5.9 Single storey freestanding building with centrally located stoep_Stand 216

Address	56 Sixth Avenue
Stand No.	216
Current Zoning	Residential 1
Year of erection	1931
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Good example of typical single storey corrugated iron roof freestanding residence from around 1930's with centrally located front stoep and arched main entrance, front stoep is supported by Ionic columns and rounded off wooden bay windows on either side of the front stoep.	

Locality Map



Fig. 145 Stand 216 is located along the south-eastern corner of Sixth Avenue and Thirteenth Street in Orange Grove within a residential area
(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 216

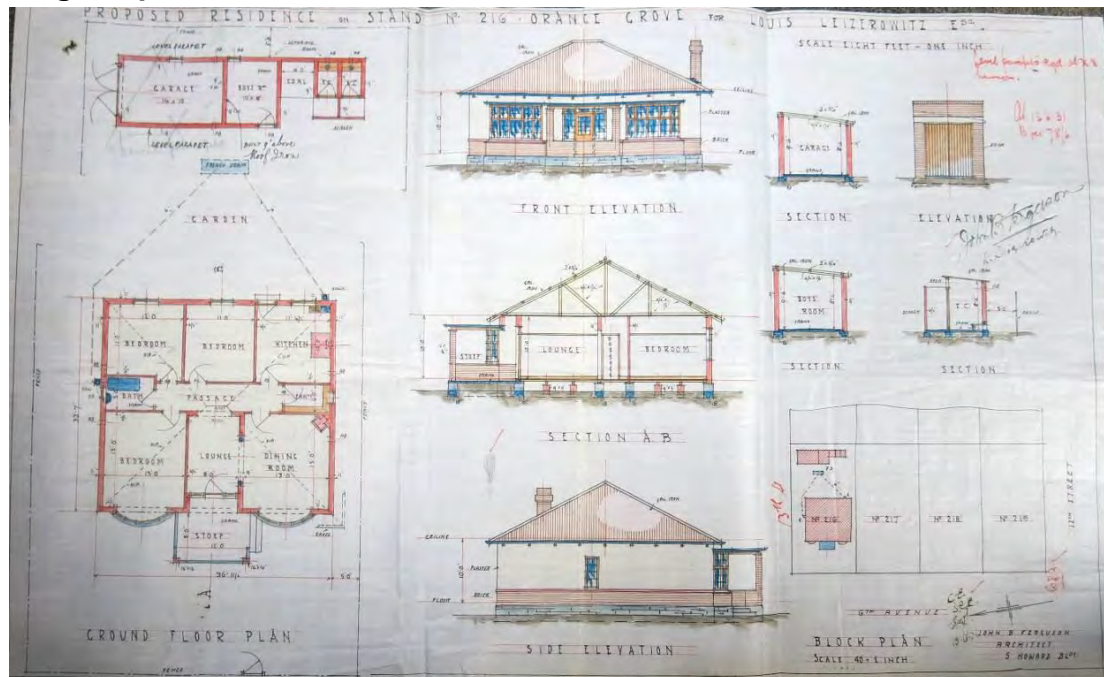


Fig. 146 Plan for proposed residence on Stand 216, Orange Grove from 1931
Good example of three bedroomed single storey residence with corrugated iron roofing and centrally located front stoep
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 147 Good example of typical single storey corrugated iron roof freestanding residence from around 1930's with centrally located front stoep and arched main entrance, front stoep is supported by Ionic columns and rounded off wooden bay windows on either side of the front stoep
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Freestanding single storey residence from early 1930s forms part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Typical freestanding residence with centrally located stoep forms part of a unique streetscape and is still in a very good condition and most of the original features are still in place
Weakness	Building is only partly visible because of boundary wall
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved early 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in

accordance with the National Heritage Resources Act of 1999 section 34 or section 36

- Public facilitation takes place prior to any development

7.5.10 Single storey freestanding building with centrally located stoep_Stand 459

Address	34 Fifth Street
Stand No.	459 (now 1/459)
Current Zoning	Residential 1
Year of erection	1937
Architect	J.C. Cook & Cowen
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history; (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa; and
Proposed SAHRA Grading	3A
Site Description Single storey freestanding residence designed in 1937 by the well-known architect firm J.C. Cook & Cowen. Most of the design elements of the late 1930's are still intact and preserved in a very good condition. Face brick still exists and features the original design intention to contrast plaster and paint with face brick. Most of the original face brick houses in Johannesburg are plastered and painted and don't show the original design intention of the architect.	

Locality Map

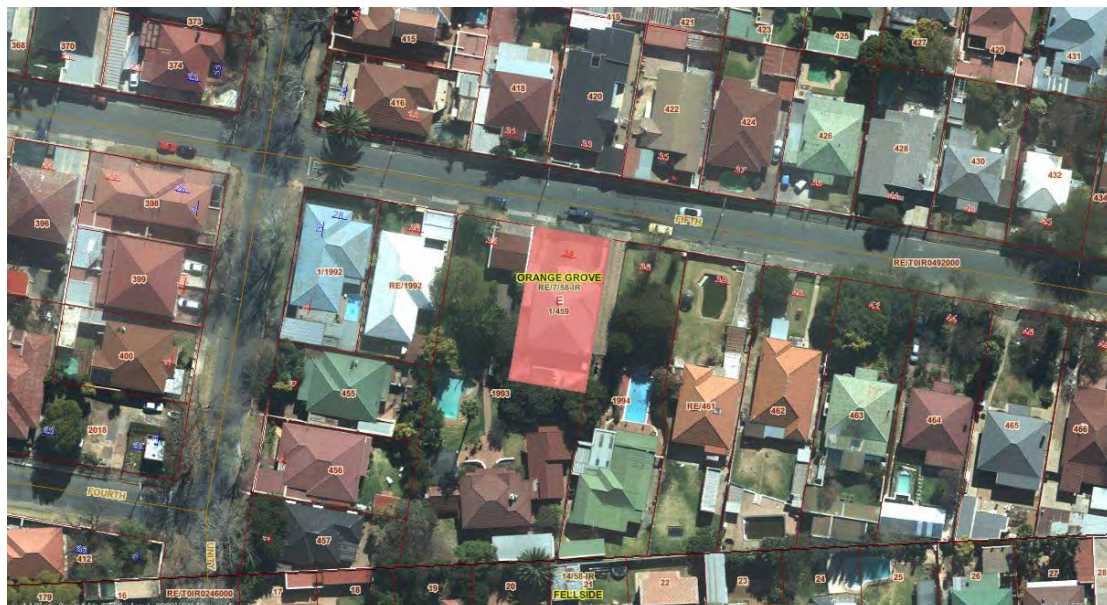


Fig. 148 Stand 1/459 is located along the southern side of Fifth Street within a residential area in Orange Grove
(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 459 (now 1/459)

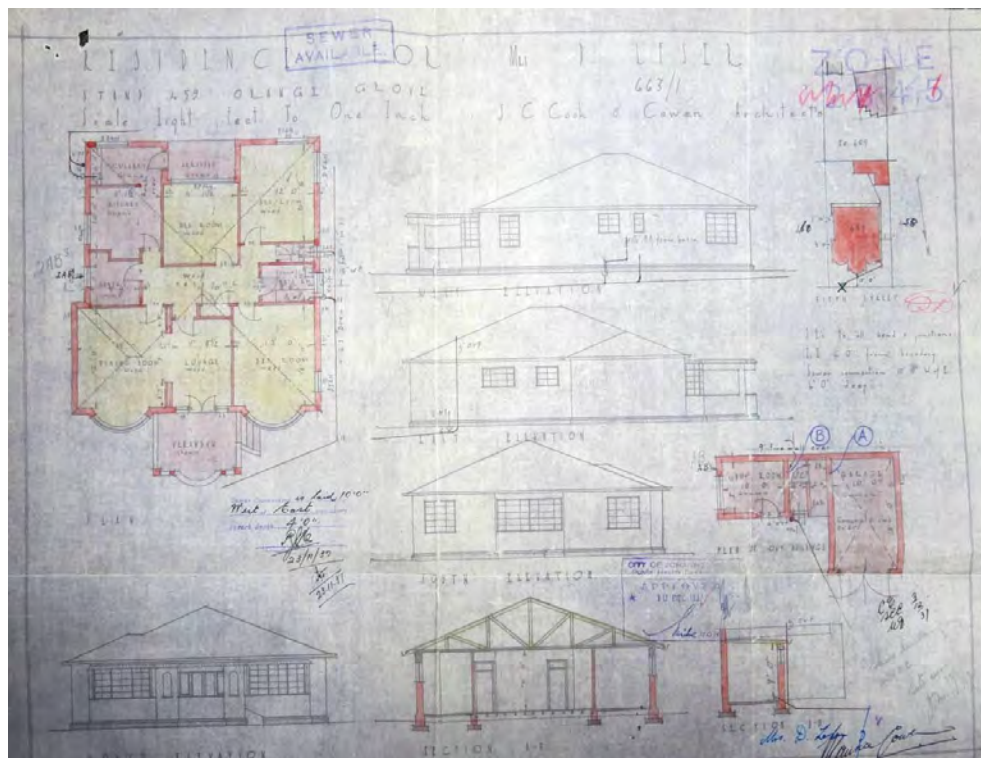


Fig. 149 Plan for proposed residence on Stand 459, Orange Grove from 1937
Good example of three bedroomed single storey residence with corrugated iron roofing and centrally located front stoep
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 150 Good example of single storey corrugated iron roof freestanding residence from the late 1930's with centrally located enclosed front stoep still in original design from J.C. Cook & Cowen, face brick detailing is also still in very good condition
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Well preserved freestanding single storey residence from late 1930s forms part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Typical freestanding residence with centrally located stoep and half rounded bay windows forms part of a unique streetscape and is in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved late 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.11 Single storey freestanding building with centrally located stoep_Stand 463

Address	42 Fifth Street
Stand No.	463
Current Zoning	Residential 1
Year of erection	1930
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Good example of single storey corrugated iron roof freestanding residence from around 1930's with centrally located front stoep, front stoep is supported by Ionic columns and rounded off wooden bay windows on either side of the front stoep.	

Locality Map



Fig. 151 Stand 463 is located along the southern side of Fifth Street within a residential area in Orange Grove
(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 463

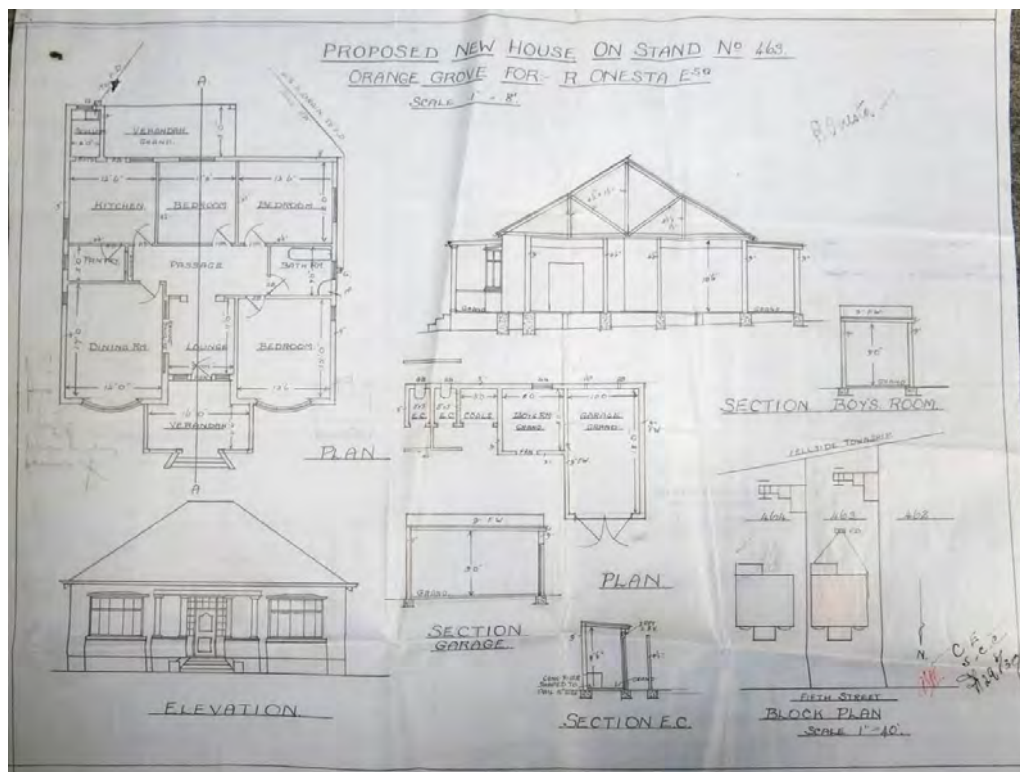


Fig. 152 Plan for proposed new house on Stand 463, Orange Grove from 1930
Good example of three bedroomed single storey residence with corrugated iron roofing and centrally located front stoep
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 153 Good example of single storey corrugated iron roof freestanding residence from around 1930's with centrally located front stoep, front stoep is supported by Ionic columns and rounded off wooden bay windows on either side of the front stoep
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Well preserved freestanding single storey residence from around 1930s forms part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Typical freestanding residence with centrally located stoep and half rounded bay windows forms part of a unique streetscape and is in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in

accordance with the National Heritage Resources Act of 1999 section 34 or section 36

- Public facilitation takes place prior to any development

7.5.12 Single storey freestanding buildings with centrally located stoep_Stand 658, 659 & 660

Address	72; 74; 76 Sixth Street
Stand No.	658; 659; 660
Current Zoning	Residential 1
Year of erection	1924 & 1926
Architect	Alexander Forrest (Architect for Stand 659)
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Three single storey freestanding houses in a row along the southern side of Sixth Street in close proximity to Louis Botha Avenue. The corrugated iron roof houses showing a good example of a typical streetscape of the 1920's in Orange Grove. The buildings don't show high architectural value but are well preserved examples of that period.	

Locality Map



Fig. 154 Stands 658, 659 and 660 are located along the southern side of Sixth Street within a residential area in Orange Grove
(Source: City Council of Johannesburg, GIS map)

Original plans for Stand 658, 659 and 660

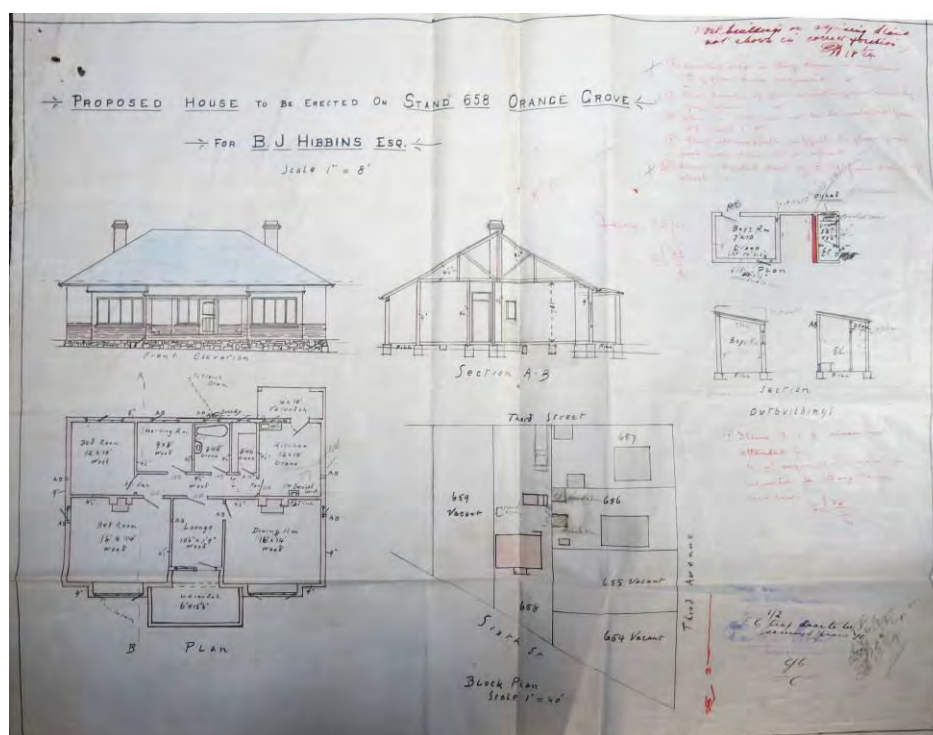


Fig. 155 Plan for proposed new houses on Stands 658, Orange Grove from 1924
Good example of two bedroomed single storey residence with corrugated iron roofing and centrally located front stoep
(Source: City Council of Johannesburg, Plans Archive)

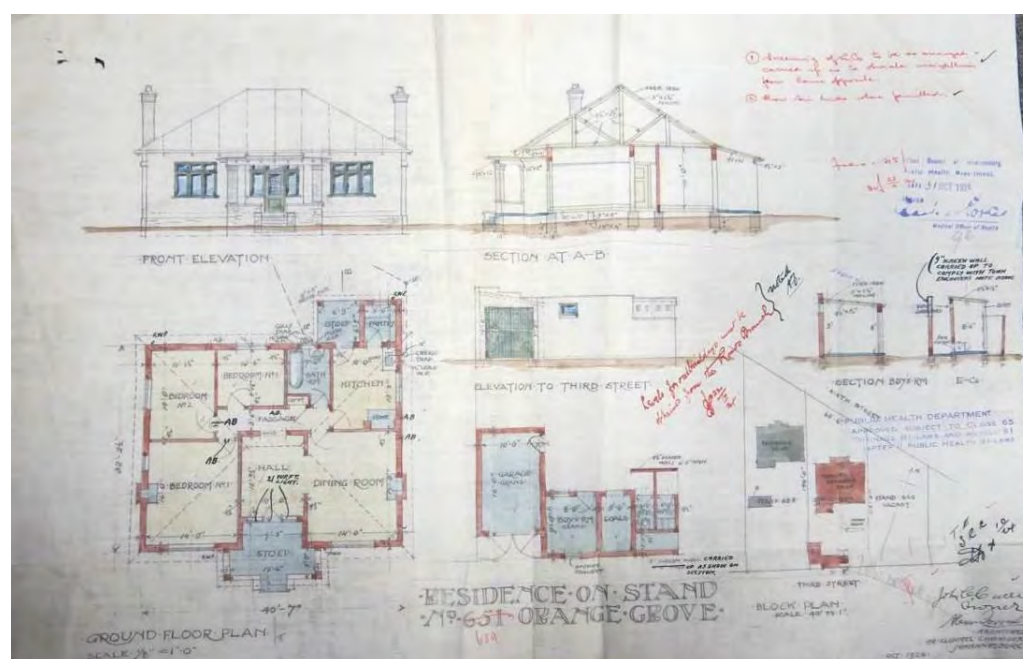


Fig. 156 Plan for proposed new houses on Stand 659, Orange Grove from 1924
Good example of three bedroomed single storey residence with corrugated iron roofing and centrally located front stoep
(Source: City Council of Johannesburg, Plans Archive)



Fig. 157 Plan for proposed new houses on Stand 660, Orange Grove from 1926
 Good example of three bedroomed single storey residence with corrugated iron roofing and centrally located front stoep
 (Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 158 Good example of three single storey corrugated iron roof freestanding residences from around 1920's with centrally located front stoep
(Source: tsica heritage consultants, 2015)



Fig. 159 Typical streetscape of original freestanding houses from around 1920's in Orange Grove
(Source: tsica heritage consultants, 2015)



Fig. 160 Corrugated iron roof house with centrally located stoep and face brick detailing along the edges of the building
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Row of freestanding single storey residences from 1920s form part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Sites fall out of mixed-use development	Recommendations Sites are surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known

Swot Analysis

Analysis	Result
Strength	Row of typical freestanding residences with centrally located stoep form part of a unique streetscape and is still in a very good condition and most of the original features are still in place
Weakness	Two buildings are only partly visible because of high wall
Risk/ Threat	The sites are located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1920s freestanding residences could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

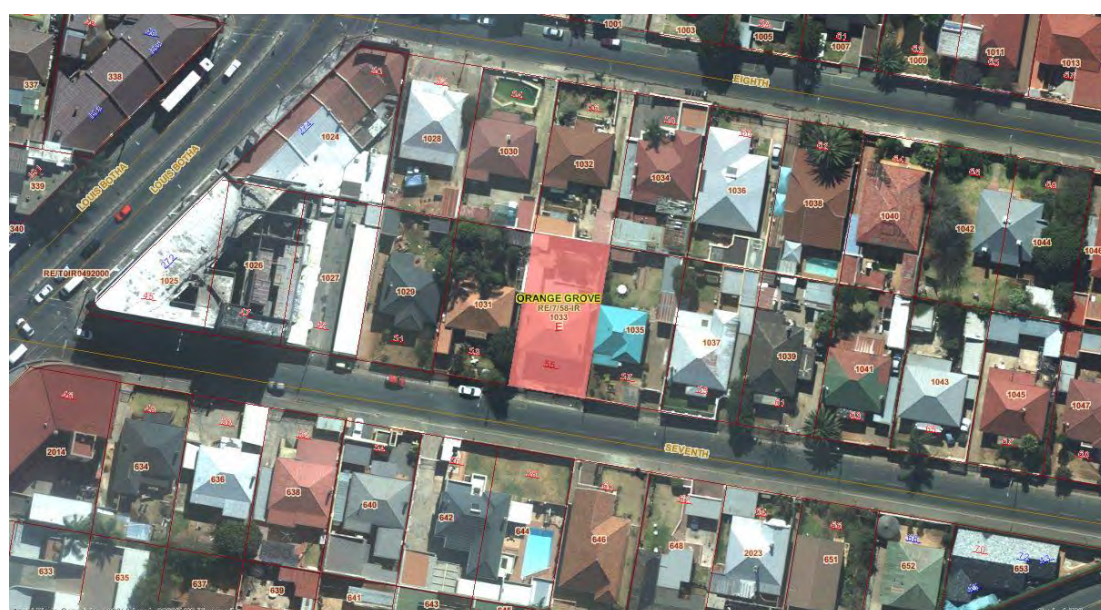
Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.13 Double storey freestanding building with low pitched roof_Stand 1033

Address	55 Seventh Street
Stand No.	1033
Current Zoning	Residential 1
Year of erection	1938
Architect	Roy M. Johnson
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description The double storey residence from 1938 shows a number of modern elements in the architecture to move away from the more decorative Victorian and Edwardian styles. The horizontal and vertical window bands accentuate the façade and provides for a more geometrical design layout.	

Locality Map



Original plan for Stand 1033

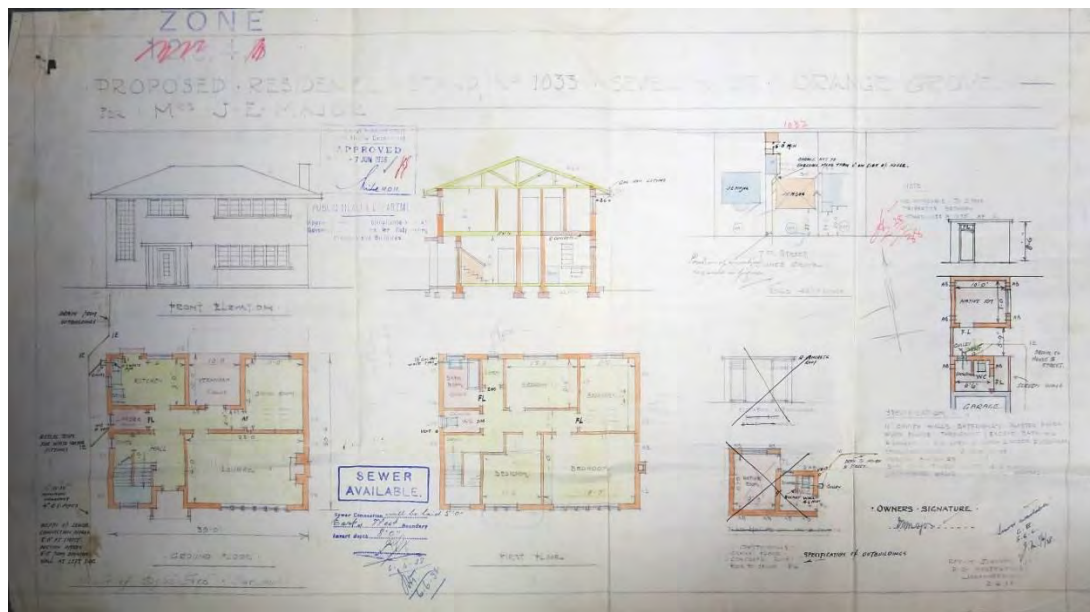


Fig. 162 Plan for proposed residence on Stand 1033, Orange Grove from 1938
Good example of double storey residence of the late 1930's with horizontal and vertical window bands opening the main façade towards the street, wide roof overhang and low pitched roof is another typical design element
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 163 Good example of double storey corrugated iron low pitched roof freestanding residence from the late 1930's with wide roof overhang and horizontal and vertical window openings
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Freestanding modernistic double storey residence from late 1930s forms part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Freestanding modernistic residence forms part of a unique streetscape and is still in a very good condition and most of the original features are still in place
Weakness	Some original features were replaced
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.14 Single storey freestanding building with one sided decorative gable_Stand 2023

Address	64 Seventh Street
Stand No.	2023 (former 650)
Current Zoning	Residential 1
Year of erection	Around 1910
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Single storey freestanding residence with one sided decorative gable and corrugated iron roofing. The corner stoep is not visible from the street but the roof layout and the chimneys pointing to an architectural design from around 1910. The plans need to be invested again according to old Stand number.	

Locality Map



Identifying Images



Fig. 165 Good example of single storey corrugated iron roof freestanding residence from the around 1910 with decorative front gable and stoep around the corner
(Source: tsica heritage consultants, 2015)



Fig. 166 Corrugated iron roof structure with chimneys and decorative gable points to elaborate architectural design from around 1910 (Research in progress)
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Single storey freestanding residence from around 1910 forms part of a unique streetscape within Orange Grove and it is therefore recommended that the streetscape needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Sites are surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Freestanding residence from around 1910 is still in a fairly good condition and most of the original features are still in place
Weakness	Building is only partly visible because of high wall
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1910s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Develop conservation area between Louis Botha Avenue and Mountainview

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.15 Single storey freestanding building with centrally located front stoep_Stand 1237

Address	33 Ninth Avenue & cnr Tenth Street
Stand No.	1237
Current Zoning	Residential 1
Year of erection	1931
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Single storey freestanding residence with centrally located front stoep and two sets of double columns supporting the stoep roof. The three bedroomed house was designed in 1931 and was recently restored. It is a good example of the freestanding houses in that part of Orange Grove.	

Locality Map



Fig. 167 Stand 1237 is located along the north-western corner of Ninth Avenue and Tenth Street within a residential area in Orange Grove
(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 1237

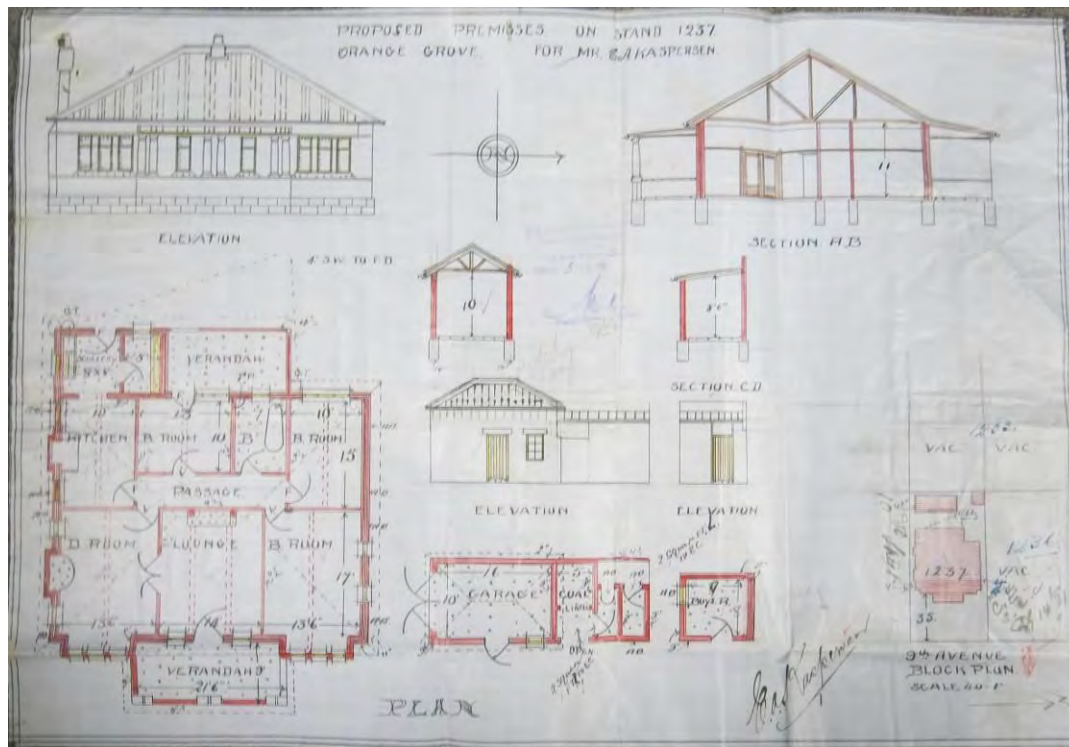


Fig. 168 Plan for proposed three bedroomed house on the corner of Ninth Avenue and Tenth Street

(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 169 Good example of single storey corrugated iron roof freestanding residence from 1931 with centrally located stoep and two sets of double columns to support the front stoep (Source: tsica heritage consultants, 2015)



Fig. 170 Corrugated iron roof structure with decorative brick chimneys and rounded windows along the side elevation (Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Freestanding single storey residence from early 1930s forms part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

Swot Analysis

Analysis	Result
Strength	Freestanding residence with centrally located stoep forms part of a unique streetscape and was recently restored and most of the original features are still in place
Weakness	Building is only partly visible because of high wall
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.16 Single storey freestanding building with centrally located front stoep_Stand 975

Address	53 Ninth Street
Stand No.	975
Current Zoning	Residential 1
Year of erection	1933
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description Single storey freestanding residence with centrally located front stoep and two sets of double columns supporting the stoep roof. The three bedroomed house was designed in 1933 and is still in a very good original condition. It is a good example of the freestanding houses in close proximity to Louis Botha Avenue.	

Locality Map



Fig. 171 Stand 975 is located along the northern side of Ninth Street in close proximity to Louis Botha Avenue, the Radium Beer Hall and Vangelina Court
(Source: City Council of Johannesburg, GIS map)

Original plan for Stand 975

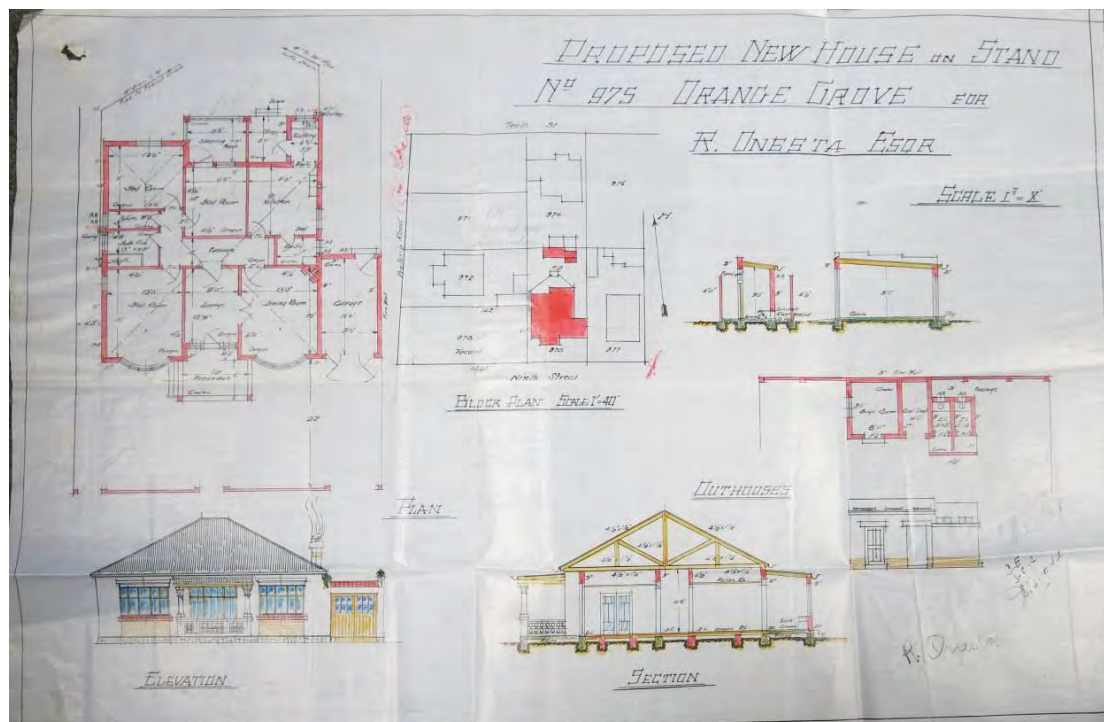


Fig. 172 Plan for proposed new house on Stand 975, Orange Grove
One Stand away from Louis Botha Avenue
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 173 Good example of single storey corrugated iron roof freestanding residence from 1933 with centrally located stoep and two sets of double columns to support the front stoep (Source: tsica heritage consultants, 2015)



Fig. 174 Good example of a well-designed main entrance stoep with original tiling still in place (Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys	Recommendations Well preserved freestanding single storey residence from around 1930s falls within historical cluster and forms part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls out of mixed-use development	Recommendations Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known

2/4

Swot Analysis

Analysis	Result
Strength	Typical freestanding residence with centrally located stoep and half rounded bay windows forms part of a unique streetscape and is in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.17 Double storey freestanding building with flat roof _Stand 450

Address	64 Sixth Street
Stand No.	450
Current Zoning	Business 1
Year of erection	1936
Architect	W. Percik
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
Site Description The double storey flat block with flat roofing has some expressionistic outstanding design features of the 1930's and is located in close proximity to Louis Botha Avenue.	

Locality Map

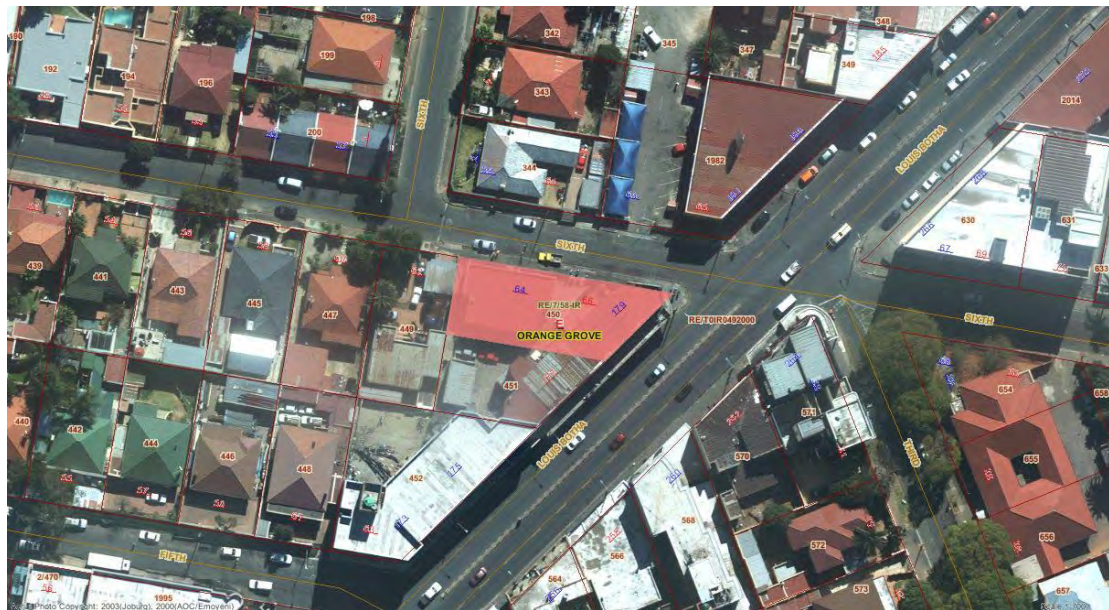


Fig. 175 Stand 450 is located on the southern side of Sixth Street along the western side of Louis Botha Avenue in Orange Grove
(Source: City Council of Johannesburg, GIS map)

Original plans for Stand 450

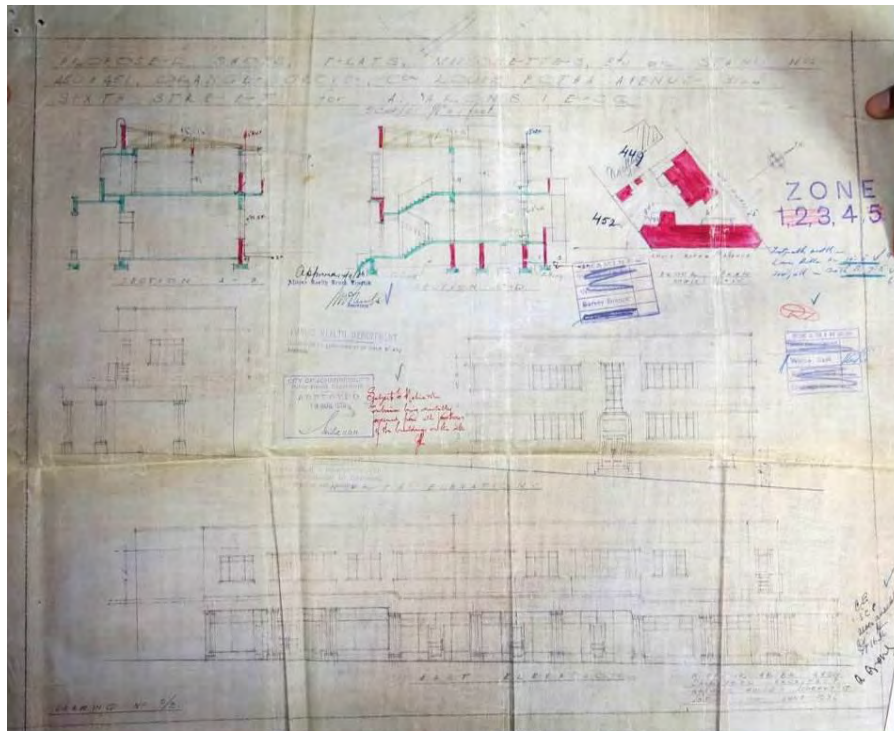


Fig. 176 Plan for proposed shops, flats and maisonettes on Stand 450, Orange Grove from 1936

Good example of double storey flat block of the 1930's with flat roofing and outstanding architectural design elements

(Source: City Council of Johannesburg, Plans Archive)

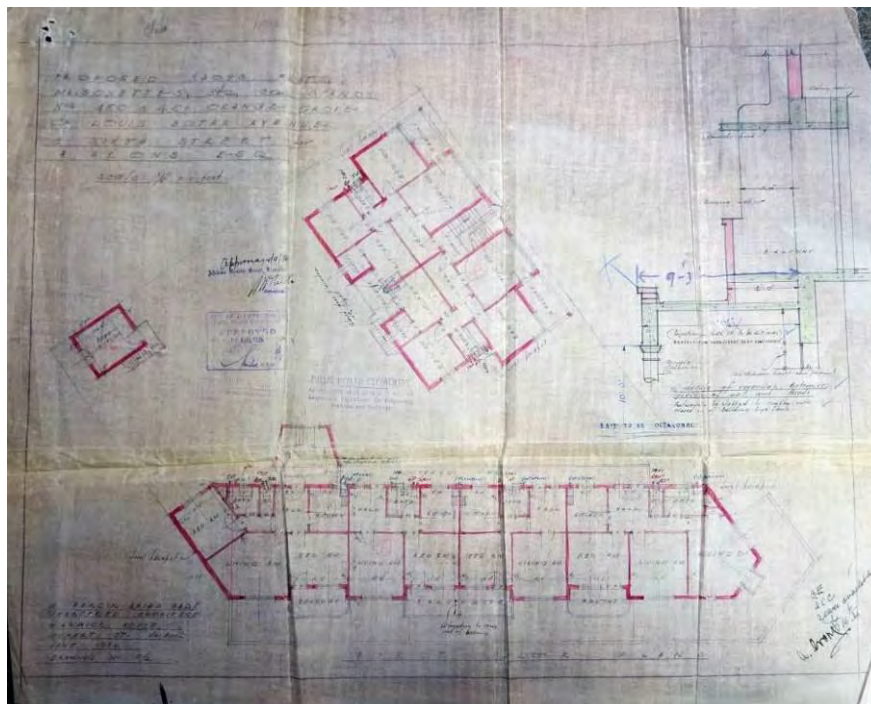


Fig. 177 Floor plans for proposed shops, flats and maisonettes on Stand 450, Orange Grove from 1936

(Source: City Council of Johannesburg, Plans Archiv)

Identifying Image



Fig. 178 Double storey flat roofed apartment block from 1936 with interesting architectural elements like the window above main entrance as an expressionistic element
(Source: tsica heritage consultants, 2015)

Impact of Proposed Development Plan on Heritage

Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	Recommendations Freestanding modernistic double storey residence from late 1930s forms part of a unique streetscape within Orange Grove and it is therefore recommended that the building needs to be preserved.
Transport Sites fall out of main BRT route transit spine	Recommendations Not applicable.
Social Cluster Development No social cluster development is ear marked for this area	Recommendations Not applicable.
Mixed-use Development Site falls within mixed-use development	Recommendations Site is surrounded by multi storey mixed-use buildings and it is recommended to maintain building heights to maximum two storeys in close proximity to the double storey residential building.

Conservation Management Policies_ Grade 3A_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

2/9

Swot Analysis

Analysis	Result
Strength	Freestanding modernistic residence forms part of a unique streetscape and is still in a fairly good condition and some of the original features are still in place
Weakness	Some of the original features were replaced like windows
Risk/ Threat	The site is located in an area of medium to high density development and it may change the character of the site if new multi storey buildings are erected near it
Strength/Opportunity	Well preserved 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

Conservation Management Policies_Residential sites

Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development