

## 7.6. Identified sites of significance\_Residential Buildings (multi storey, semi-detached, freestanding)\_Auckland Park

### Introduction

Residential buildings are buildings that are generally used or zoned for residential purposes. It must be noted that the majority of residences are over 60 years and it was therefore imperative for a detailed visual study to be done and the most significant buildings mapped out. Their significance could be as a result of them being associated with prominent figures, special events, design patterns of a certain period in history, rarity, or part of an important architectural school. Most of the sites identified in this category are of importance in their local context and are representative of the historical and cultural patterns that could be discerned from the built environment. Most of the identified sites were given a 3A category (explained below).

### Grading

3A\_Residential buildings that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities or that are historical landmarks (should be conserved and enhanced)

3B\_Residential buildings of marginally lesser significance, for example, where there have been alterations made but the site still meets the other criteria of 3A sites (sensitive alteration and additions to the interior allowed on approval)

3C\_Residential buildings where the significance is in large part based on setting and contextual relationships in so far as these contribute to the character or significance of the surrounding environs including landscapes, streetscapes, townscapes or areas (possibility of sensitive alteration and addition to the exterior).

### Summary table of identified sites in the residential category

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
159 & 160	Kingsway Mansions_multi storey residential building complex along Kingsway Avenue	3A	Conservation highly recommended
161 & 162	Two single storey freestanding residential buildings along Richmond Avenue	3A	Conservation highly recommended
153	Lindfield Victorian House Museum_Single storey freestanding	2	Conservation highly recommended

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
	residential building along Richmond Avenue		
136	Single storey freestanding residential building along Richmond Avenue	3A	Conservation highly recommended
137	Single storey freestanding residential building along Richmond Avenue	3A	Conservation highly recommended
138	Single storey freestanding residential building along Richmond Avenue	3C	Possible major changes or demolition, documentation necessary
123	Single storey freestanding residential building along Twickenham Avenue	3A	Conservation highly recommended
92	Single storey freestanding residential building along Twickenham Avenue	3A	Conservation highly recommended
1/71	Single storey freestanding residential building along Ditton Avenue	3C	Possible major changes or demolition, documentation necessary
69	Single storey freestanding residential building along Ditton Avenue	3C	Possible major changes or demolition, documentation necessary
816	Single storey freestanding residential building along Ditton Avenue	3A	Conservation highly recommended
839 to 842	Single storey freestanding residential building along Ditton Avenue	3A	Conservation highly recommended
832	Single storey freestanding residential building along Wargrave Avenue	3A	Conservation highly recommended
835	Single storey freestanding residential building along Wargrave Avenue	3C	Possible major changes or demolition, documentation necessary

<b>Site/ Stand No.</b>	<b>Description</b>	<b>Provisional Grading</b>	<b>Heritage Implications</b>
889	Single storey freestanding residential building along Wargrave Avenue	3A	Conservation highly recommended
930	Single storey freestanding residential building along Finsbury Avenue	3C	Possible major changes or demolition, documentation necessary
943	Single storey freestanding residential building along Finsbury Avenue	3A	Conservation highly recommended
944	Single storey freestanding residential building along Finsbury Avenue	3C	Possible major changes or demolition, documentation necessary
926	Single storey freestanding residential building along Finsbury Avenue	3A	Conservation highly recommended
1/452	Double storey freestanding residential building along Molesey Avenue	3A	Conservation highly recommended
RE/789	Double storey freestanding residential building along Molesey Avenue	3A	Conservation highly recommended
RE/449	Double storey freestanding residential building along Molesey Avenue	3A	Conservation highly recommended
941	Single storey freestanding residential building along Molesey Avenue	3A	Conservation highly recommended
940	Double storey freestanding residential building along Molesey Avenue	3A	Conservation highly recommended
473	Double storey freestanding residential building along Molesey Avenue	3A	Conservation highly recommended
1012	Single storey freestanding residential building along Surbiton Avenue	3C	Possible major changes or demolition, documentation necessary

### 7.6.1 Multi storey residential building\_Kingsway Mansions\_Stand 159 & 160

Address	41 Henley Road
Stand no.	159 & 160
Current zoning	Residential 4
Year of erection	1928
Architect	P. Rogers Cooke
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa
SAHRA grading	3A
<b>Site description</b>	
The three storey Art Deco residential building block was built in 1928 by the well-known architect P. Rogers Cooke who was responsible for a number of architecturally important buildings in the CBD of Johannesburg. Classical design elements are used in the decoration of the balconies and the decorative gables along the main façade towards Kingsway Avenue. The proposed extension of the wings was never carried out and the main entrance gate was placed on the western side of Henley Road to give easy access to the property.	

#### Locality map

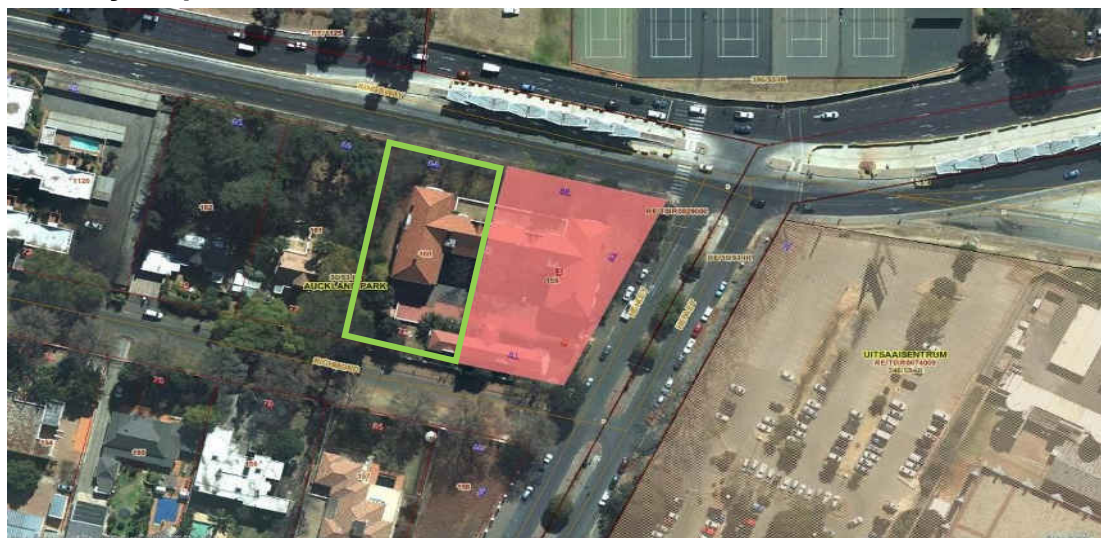


Fig. 65 Stands 159 & 160 are located along the southern side of Kingsway on the south-western corner of Henley Road and Kingsway opposite the parking area of the SABC site in Auckland Park, entrance to site along Henley Road

(Source: City Council of Johannesburg, GIS map)

## Original plans for Stands 159 & 160

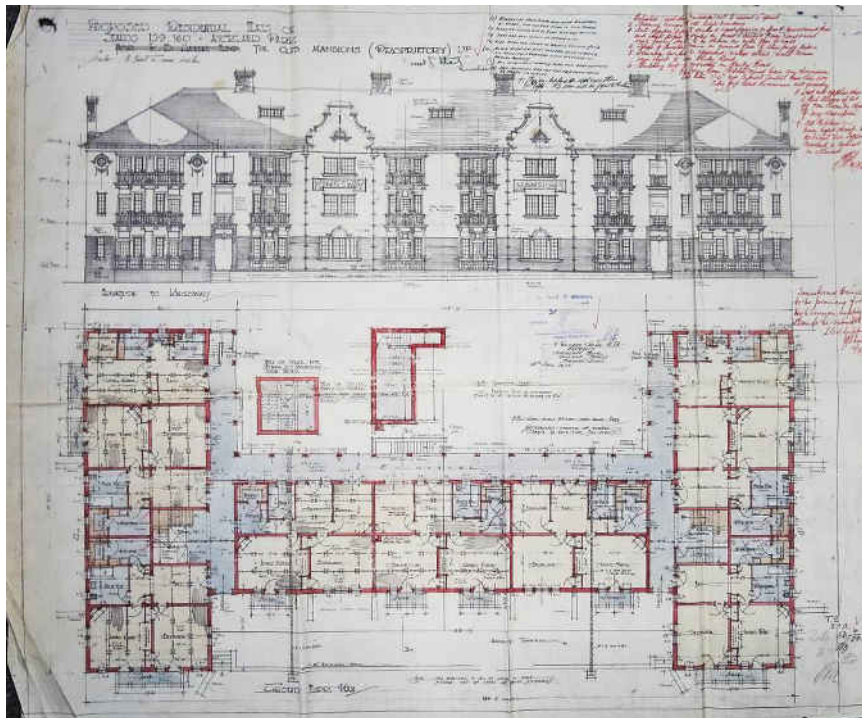


Fig. 66 Original plan for proposed residential flats along Kingsway Avenue from 1928\_ plans were drawn by the well-known architect P. Rogers Cooke (Source: City Council of Johannesburg, Plans Archive)

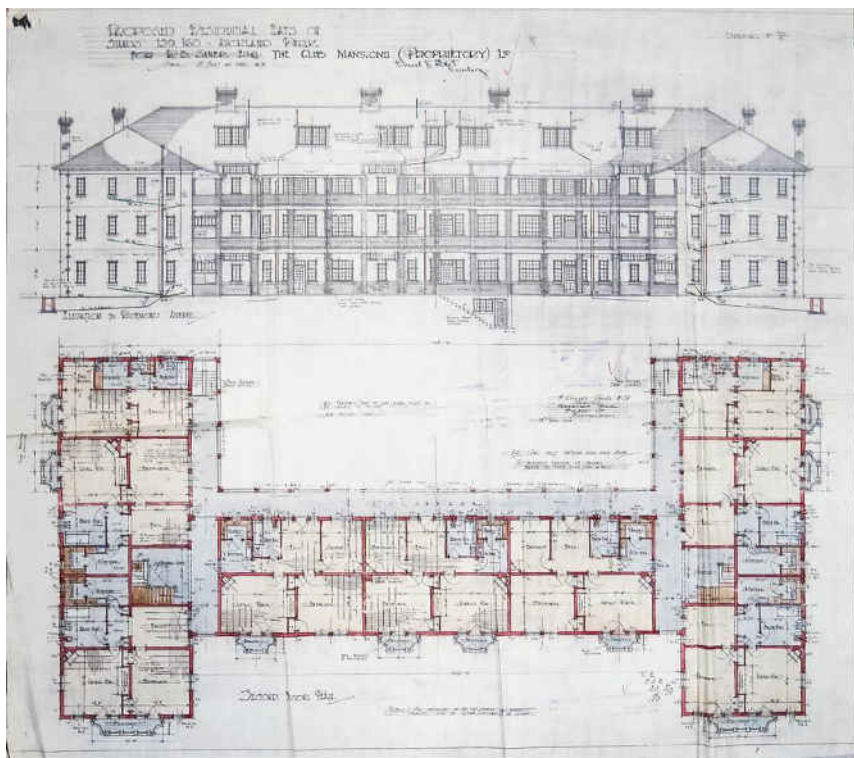


Fig. 67 Original plan for proposed residential flats along Kingsway Avenue from 1928\_ floor plan shows the originally designed three storey double wing flat block connected with a middle section facing Kingsway Avenue (Source: City Council of Johannesburg, Plans Archive)

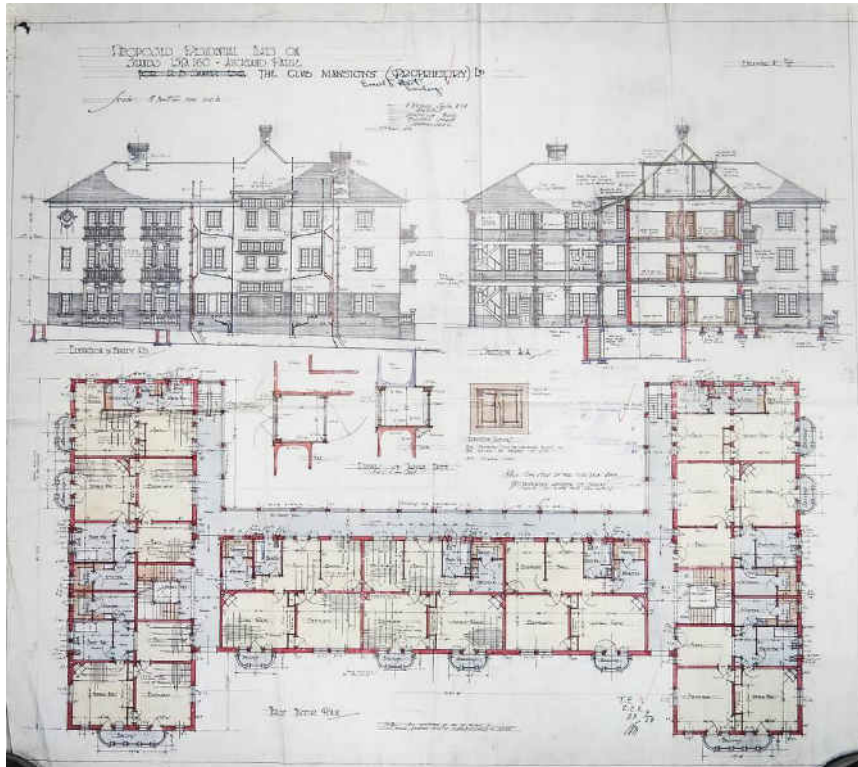


Fig. 68 Original plan for proposed residential flats along Kingsway Avenue from 1928\_plans were drawn by the well-known architect P. Rogers Cooke (Source: City Council of Johannesburg, Plans Archive)

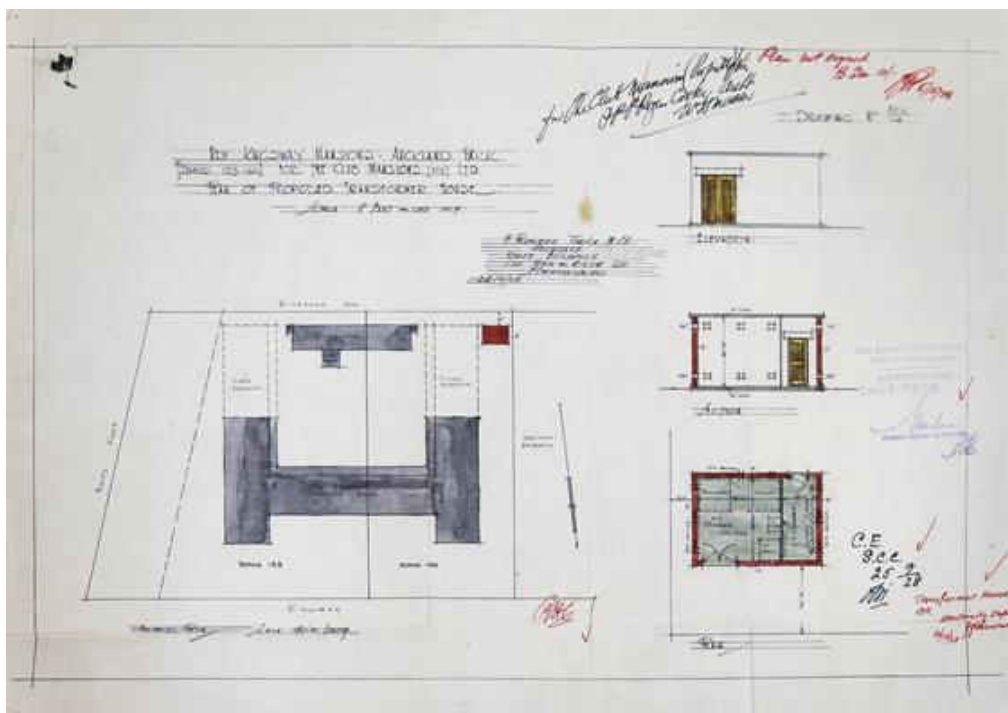


Fig. 69 Site of the proposed residential flats along Kingsway Avenue, plan shows location of proposed transformer house on Stand 160 and proposed extensions of both wings in southern direction (Source: City Council of Johannesburg, Plans Archive)

## Identifying Images

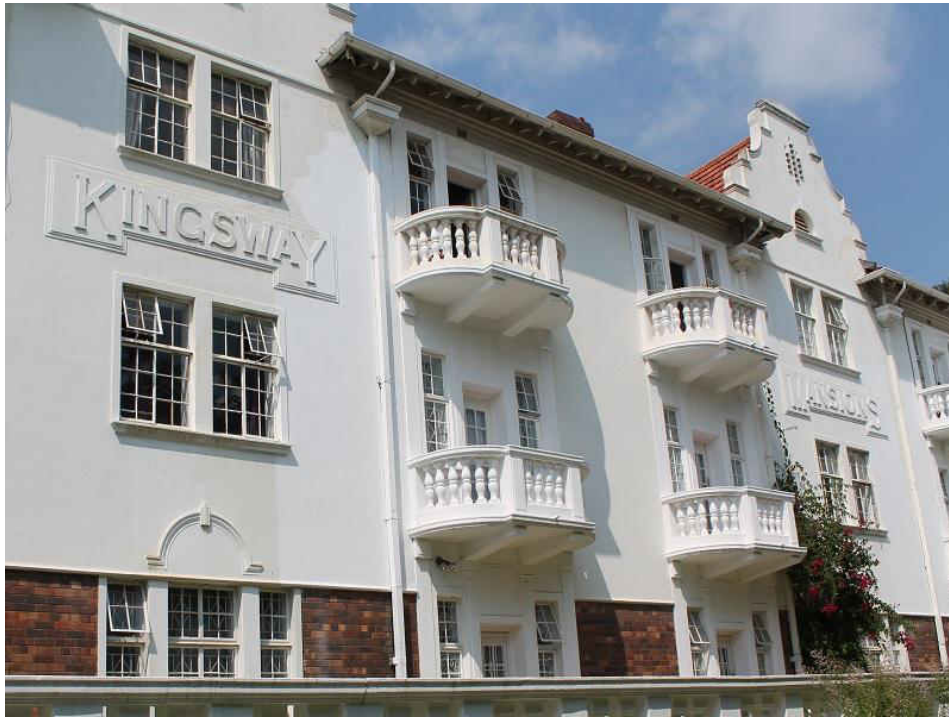


Fig. 70 North elevation of Kingsway Mansions which is located along the southern side of Kingsway Avenue

(Source: <http://northcliffmelvilletimes.co.za/173509/historical-building-tucked-away-in-auckland-park/>)



Fig. 71 View in western direction towards the main entrance gate of Kingsway Mansions along Henley Road

(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Medium to High densities (160-250dph) new buildings suggested maximum scale is 6-8 and a minimum of 4 storeys</p>	<p><b>Recommendations</b> 3 storey historically significant building block from 1928 forms part of a historical cluster and represents a unique historical streetscape/street corner along Kingsway Avenue. It is therefore recommended that the building structure and streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing.</p>
<p><b>Transport</b> Site is located along existing main BRT route transit spine</p>	<p><b>Recommendations</b> Further development along BRT route transit spine needs to take existing historical cluster/streetscape into consideration.</p>
<p><b>Social Cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls within mixed-use development along Kingsway Avenue</p>	<p><b>Recommendations</b> Multi storey residences towards the southern and western sides, SABC to the East and the Johannesburg Country Club to the North, surround site it is recommended not to overpower future development plans with existing built environment.</p>

### Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain types of residential buildings that exhibit uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot analysis

Analysis	Result
Strength	Well-preserved multi storey residential building block from 1928 - can be used as very good example of residential units of the late 1920s in Johannesburg
Weakness	Not applicable
Risk/ Threat	The sites are located in an area of medium to high density development area along Kingsway Avenue and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	Site falls within historical cluster around Johannesburg Country Club and will keep integrity within the area to perhaps form part of a proposed heritage route

## Conservation Management Policies\_ Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 7.6.2. Two single storey freestanding residential buildings\_Stand 161 & 162

Address	75 & 77 Richmond Avenue
Stand no.	161 & 162
Current zoning	Residential 1
Year of erection	1923
Architect	A.J. Marshall
Heritage significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<p><b>Site description</b></p> <p>The two identical single storey residential buildings were built in 1923 by A.J. Marshall and form part of a historical streetscape along Richmond Avenue with Kingsway Mansions as a neighbouring site. The steep-pitched slate tiled roofs with dormer windows makes them highly visible from the street and are used as additional living space. The dominant chimney design forms part of the eastern and western elevations.</p>	

#### Locality map



Fig. 72 Stands 161 & 162 are located along the northern side of Richmond Avenue which runs parallel to Kingsway Avenue in Auckland Park  
(Source: City Council of Johannesburg, GIS map)

## Original plans for Stands 161 & 162

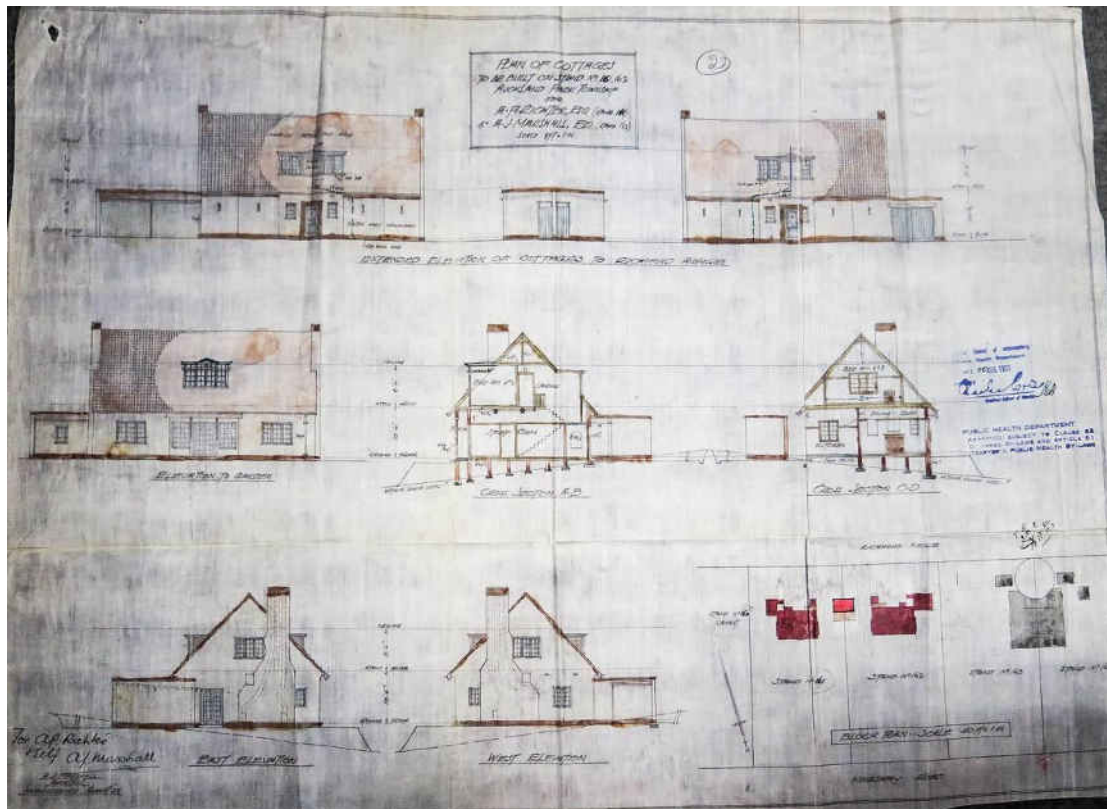


Fig. 73 Plan of Cottages to be built on Stand 161 & 162 for A.P. Richter in 1923  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Images for Stand 161



Fig. 74 View in northern direction of main entrance gate of Stand 161, original slate-tiled roof was replaced with clay tiles  
(Source: tsica heritage consultants, 2015)



Fig. 75 View towards main entrance located at the southern side of the house along Richmond Avenue  
(Source: tsica heritage consultants, 2015)

## Identifying Images for Stand 162



Fig. 76 View in northern direction of main entrance gate of Stand 162 with original chimney design still visible on the western façade  
(Source: tsica heritage consultants, 2015)



Fig. 77 South elevation along Richmond Avenue with original slate-tiled roof partly visible  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Medium to High densities (160-250dph) new buildings suggested maximum scale is 6-8 and a minimum of 4 storeys</p>	<p><b>Recommendations</b> 2 single storey historically significant residences from 1923 form part of a unique historical streetscape along Richmond Avenue and it is therefore recommended that the building structures and streetscape need to be preserved and all proposed new development needs to be done sensitively.</p>
<p><b>Transport</b> Site is located in close proximity to existing main BRT route transit spine</p>	<p><b>Recommendations</b> Further development along BRT route transit spine needs to take existing historical streetscape into consideration.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls within mixed-use development along Kingsway Avenue</p>	<p><b>Recommendations</b> Site is surrounded by residences towards the southern and western sides, Kingsway Mansions to the East and Kingsway Avenue to the North. It is recommended not to overpower existing built environment with future development plans.</p>

### Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain type of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain types of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Two residences form part of historical streetscape from early 1920s in Johannesburg and show a good example of residential architecture of the time
Weakness	A number of alterations were done to existing building structure
Risk/ Threat	The sites are located in an area of medium to high density development along Kingsway Avenue and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	Sites fall along historical streetscape and in close proximity to historical cluster of the Johannesburg Country Club and will keep integrity within the area to perhaps form part of a proposed heritage route

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route



- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 7.6.3. Lindfield Victorian House Museum\_Single storey freestanding residential building\_Stand 153

Address	72 Richmond Avenue
Stand no.	153
Current zoning	Residential 1
Year of erection	Around 1910
Architect	Herbert Baker and extensions by A.J. Marshall and Nelly Edwards (Research in progress)
Heritage significance	Architectural/ Cultural/ Social
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history (c) its potential to yield information that will contribute to an understanding of South Africa's natural or cultural heritage
Proposed SAHRA grading	2
<p><b>Site description</b></p> <p>The single storey residence with centrally-located stoep and corrugated iron roofing was, according to the owner, built by Herbert Baker in 1910 and added on to over the decades by a number of well-known architects. The Victorian House Museum consists of 22 rooms which houses a valuable collection of Victorian furniture and collectable items. The Museum is open to the public and gives an unforgettable view on Victorian living in South Africa.</p>	

#### Locality map



Fig. 78 Stands 153 is located along the northern side of Richmond Avenue which runs parallel to Kingsway Avenue in Auckland Park  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced! (Research in progress)**

## Identifying Images

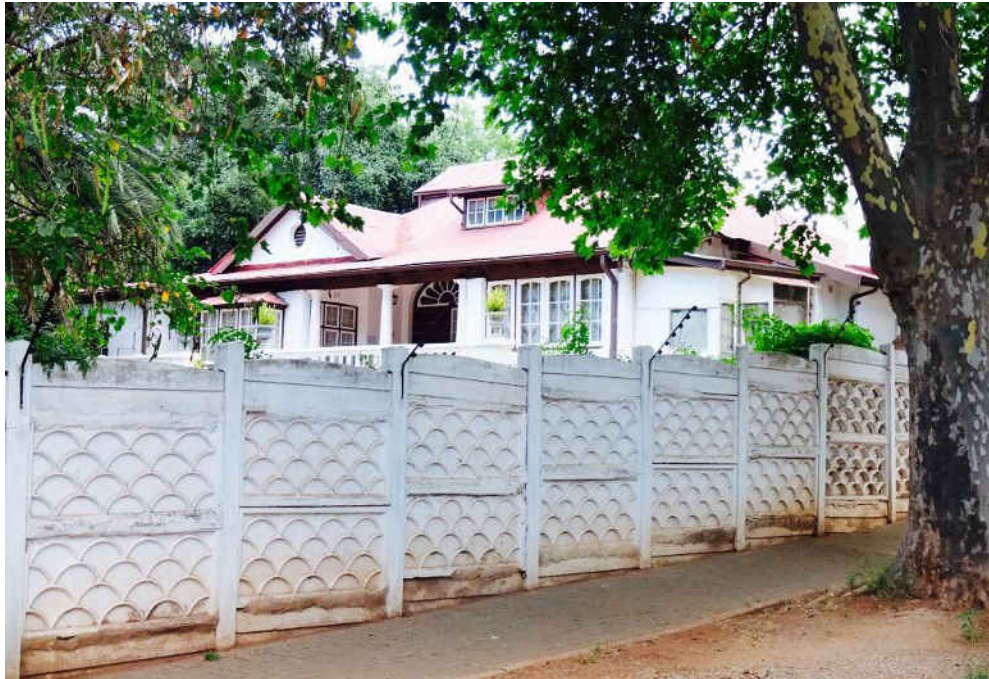


Fig. 79 View towards the North elevation of Lindfield Museum located on the south-western corner of Richmond Avenue and Greenlands Road  
(Source: tsica heritage consultants, 2015)



Fig. 80 View towards the North-western elevations with the SABC office block in the background along Henley Road  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Medium densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Lindfield Museum houses a unique collection of Victorian furniture and collectables and was provisionally declared a Provincial Heritage Site, which lapsed in 2014. A new declaration of the building with its collection is highly recommended.</p>
<p><b>Transport</b> Site is located in close proximity to existing main BRT route transit spine</p>	<p><b>Recommendations</b> Further development along BRT route transit spine needs to take existing historical built environment and streetscape into consideration.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Kingsway Avenue</p>	<p><b>Recommendations</b> Not applicable.</p>

## Conservation Management Policies\_Grade 2\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain types of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Well-established Victorian house museum in Johannesburg with exhibition of unique collection of Victorian interiors
Weakness	Museum building is in urgent need of repair. To make museum sustainable in the long-term, it needs to be incorporated in new proposed tourism route and fundraising plans need to be addressed
Risk/ Threat	The site is located in close proximity to an area of medium to high density development along Kingsway Avenue and it may change the character of the site if new buildings are erected adjacent to the site
Strength/Opportunity	Sites fall along historical streetscape and in close proximity to historical cluster of the Johannesburg Country Club and will keep integrity within the area to maybe form part of a proposed heritage route

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

## **Future development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Site is already used as tourist destination but could form part of proposed tourism route, as well as being connected to existing BRT route e.g. mentioned at BRT Bus stop with directions etc
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

#### 7.6.4. Single storey freestanding residential building\_Stand 136

Address	38 Richmond Avenue
Stand no.	136
Current zoning	Residential 1
Year of erection	1935
Architect	J.C. Cook & M. Cowen
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa
SAHRA Grading	3A
<b>Site Description</b> Single storey freestanding residence with corrugated iron roofing and centrally- located front stoep. Typical example of 1930s house design and was built by the well-known architectural firm J.C. Cook and Cowen who were responsible for a number of important buildings in Johannesburg. Application for demolition was submitted to PHRA-G for approval.	

#### Locality map



Fig. 81 Stand 136 is located along the northern side of Richmond Avenue which runs parallel to Kingsway Avenue in Auckland Park and is rarely visible from the street (Source: City Council of Johannesburg, GIS map)

## Original plan for Stands 136

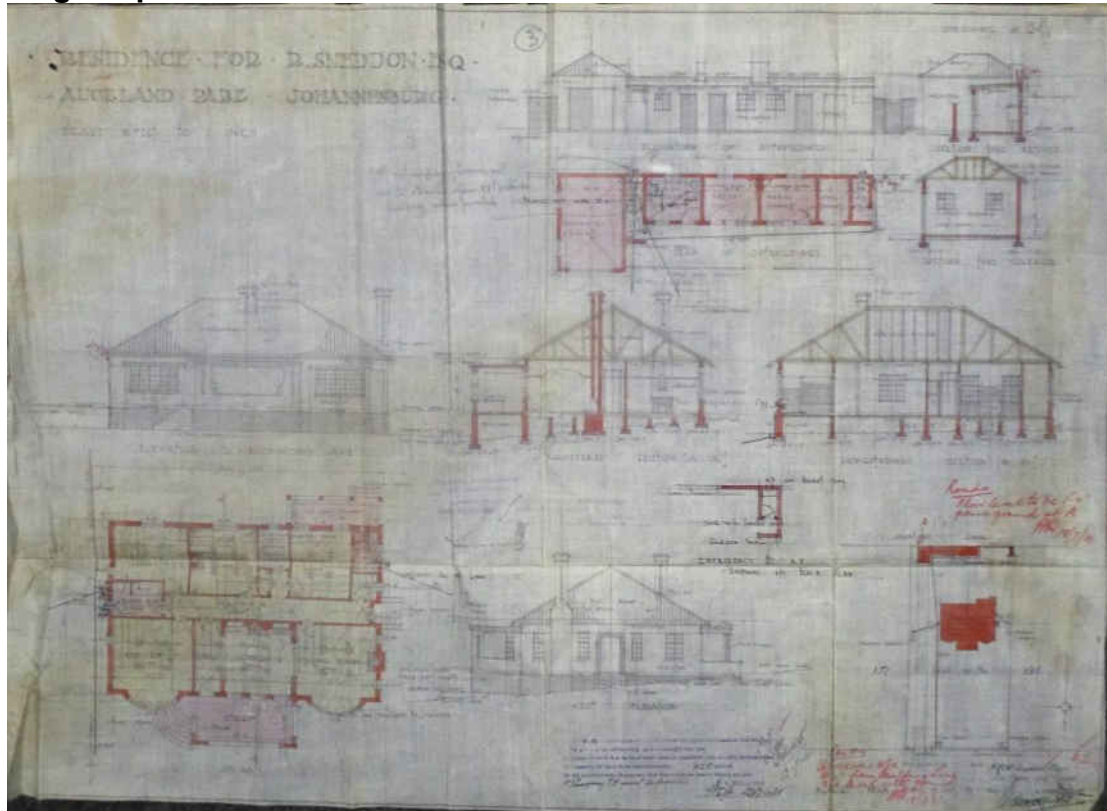


Fig. 82 Original plan for residence for R. Sneddon built in 1935 by the well-known architectural firm J.C. Cook and Cowen (Source: City Council of Johannesburg, Plans Archive)

## Identifying Image

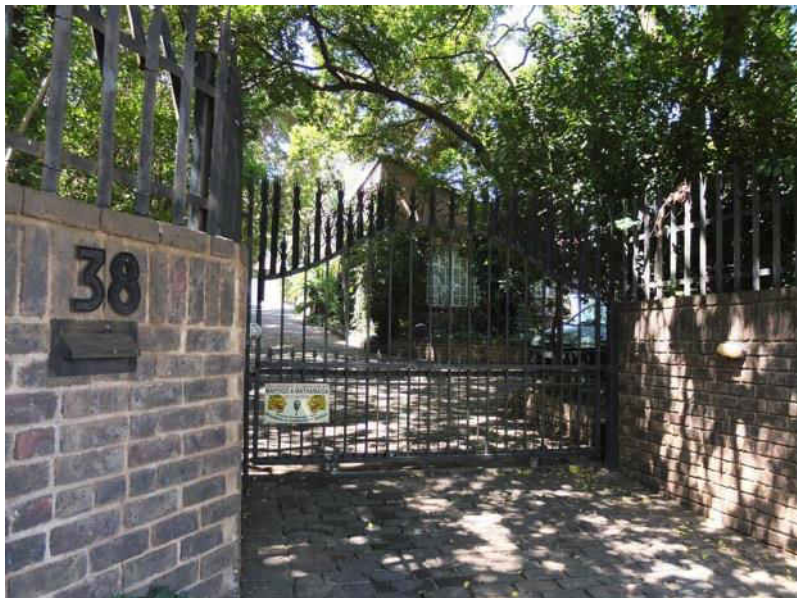


Fig. 83 Residence on Stand 136 is not visible from the Street because of high trees (Source: tsica heritage consultants, 2015)



## Impact of proposed development plan on heritage

<p><b>Densities</b> Medium to High densities (160-250dph) new buildings suggested maximum scale is 6-8 and a minimum of 4 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1935 was built by the well-known architectural firm Cook &amp; Cowen and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Site is located in close proximity of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls within mixed-use development along Empire-Perth Roads</p>	<p><b>Recommendations</b> Site is surrounded by single storey residences towards the southern and eastern sides, it is recommended not to overpower existing built environment with future development plans.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Well-preserved single storey residential building from 1935 can be used as good example of residential buildings from the architectural firm Cook & Cowan in Johannesburg
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium to high density development along Empire-Perth Roads and it may change the character of the site if new buildings are erected in close proximity, such as the student accommodation opposite
Strength/Opportunity	All historically significant sites along Richmond Avenue will form part of a unique streetscape and in combination with proposed new development plans will be part of a diverse urban layout

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 7.6.5. Single storey freestanding residential building\_Stand 137

Address	40 Richmond Avenue
Stand no.	137
Current zoning	Residential 1
Year of erection	1926
Architect	William Tait Conner
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Single storey residence with centrally located entrance stoep built in 1926 by William Tait Conner. Uncommon floor layout with four bedrooms, study and living area. Rare design of the 1920s in still very good condition.	

### Locality map

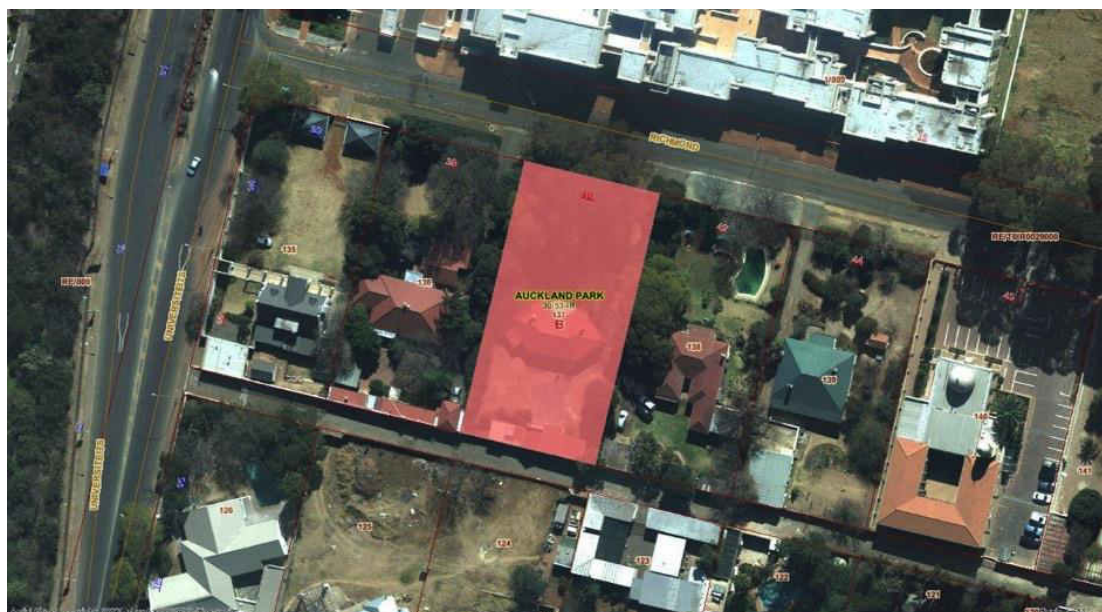


Fig. 84 Stand 136 is located along the northern side of Richmond Avenue which runs parallel to Kingsway Avenue in Auckland Park  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 137

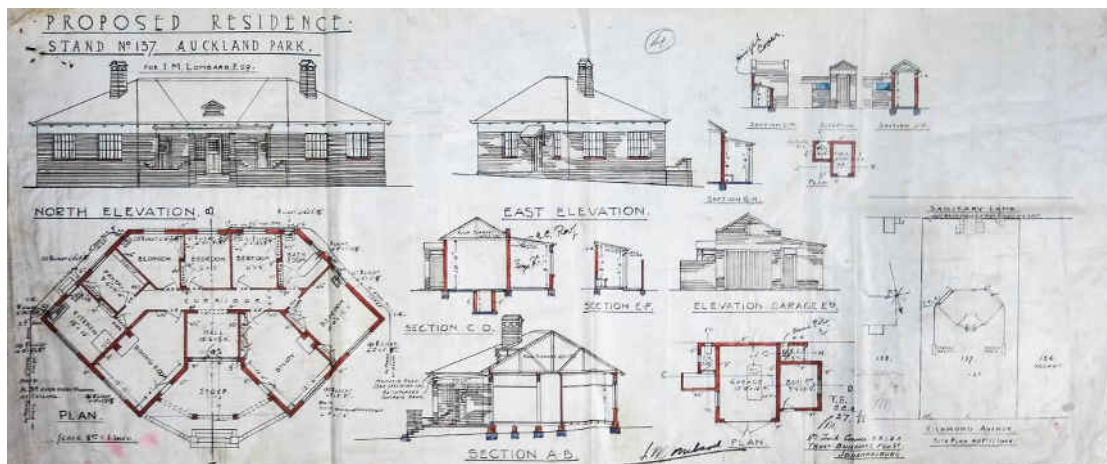


Fig. 85 Original plan for proposed residence along the southern side of Richmond Avenue in Auckland Park from 1926  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 86 Single storey residence with centrally-located entrance stoep\_still in good original condition  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Medium to High densities (160-250dph) new buildings suggested maximum scale is 6-8 and a minimum of 4 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1926 forms part of unique streetscape along Richmond Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Site is located in close proximity of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls within mixed-use development along Empire-Perth Roads</p>	<p><b>Recommendations</b> Site is surrounded by single storey residences towards the southern and east/western sides, it is recommended not to overpower existing built environment with future development plans.</p>

## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain types of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Well-preserved single storey residential building from 1926 can be used as good example of residential buildings in Auckland Park
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium to high density development along Empire-Perth Roads and it may change the character of the site if new buildings are erected in close proximity like the student accommodation opposite
Strength/Opportunity	All historically significant sites along Richmond Avenue will form part of a unique streetscape and in combination with proposed new development plans will be part of a diverse urban layout

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



### 7.6.6. Single storey freestanding residential building\_Stand 138

Address	44 Richmond Avenue
Stand no.	139
Current zoning	Residential 1
Year of erection	Pre 1926
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3C
<b>Site description</b> Single storey freestanding residence with corrugated iron roofing and centrally- located front stoep. Typical residence design from the 1920s forms part of a historical streetscape and is currently used as a nursery school.	

### Locality map

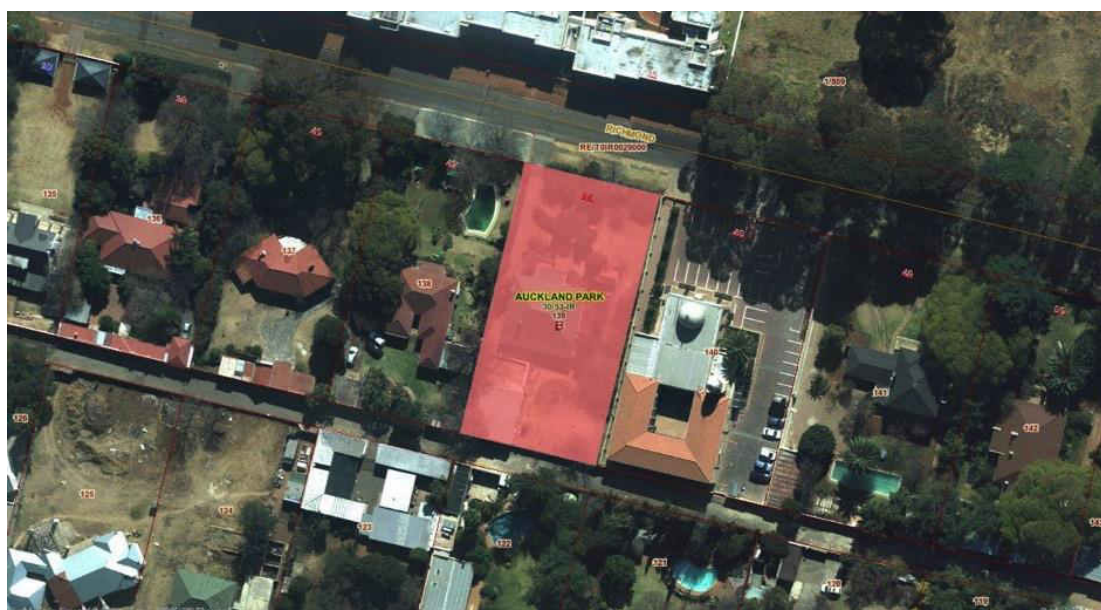


Fig. 87 Stand 138 is located along the northern side of Richmond Avenue which runs parallel to Kingsway Avenue in Auckland Park  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 88 Single storey residence with centrally located steeple and corrugated iron roofing from the 1920s

(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Medium to High densities (160-250dph) new buildings suggested maximum scale is 6-8 and a minimum of 4 storeys</p>	<p><b>Recommendations</b> Single storey residence around 1920s forms part of the existing historical streetscape along the northern side of Richmond Avenue but can be altered or demolished after detailed documentation.</p>
<p><b>Transport</b> Site is located in close proximity of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear-marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls within mixed-use development along Empire-Perth Roads</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.7. Single storey freestanding residential building\_Stand 123

Address	39 Twickenham Avenue
Stand no.	123
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<p><b>Site description</b>            Single storey residence with corrugated iron roofing and columns supporting veranda all along the front elevation towards Twickenham Avenue. The design of the house is a typical residence design of the 1920s and forms part of a historical streetscape in Auckland Park.</p>	

### Locality map

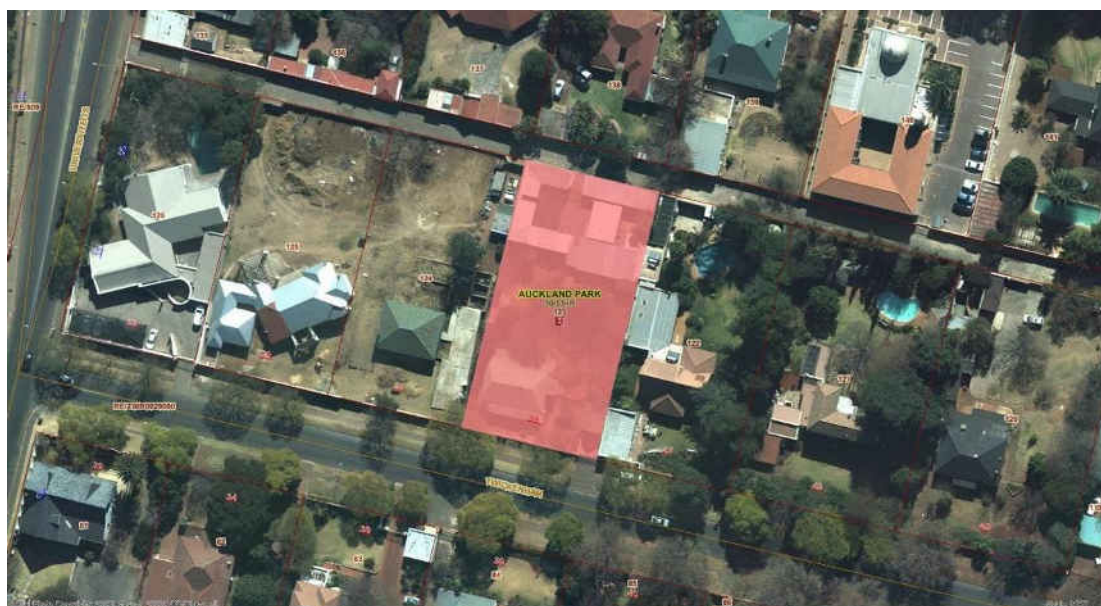


Fig. 89 Stand 123 is located along the northern side of Twickenham Avenue which runs parallel to Kingsway Avenue in Auckland Park  
 (Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 90 Single storey residence with columns supported veranda all along the street façade towards Twickenham Avenue  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Medium to High densities (160-250dph) new buildings suggested maximum scale is 6-8 and a minimum of 4 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1920s forms part of unique streetscape along Twickenham Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Site is located in close proximity of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>

<b>Mixed-use development</b> Site falls within mixed-use development along Empire-Perth Roads	<b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans.
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## Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain types of residential buildings that exhibit uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Well-preserved single storey residential building with surrounded columned supported stoep from 1920s can be used as good example of residential buildings in Auckland Park
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium to high density development area along Empire-Perth Roads and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Twickenham Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout

## **Conservation Management Policies\_Residential sites**

### **Views/Vistas**

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### **Fabric and setting**

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### **Management**

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### **Future development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 7.6.8. Single storey freestanding residential building\_Stand 92

Address	54 Twickenham Avenue cnr Cookham Road
Stand no.	92
Current zoning	Residential 1
Year of erection	1922
Architect	Gordon Leith
Heritage significance	Architectural/ Historical
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa
SAHRA grading	3A
<b>Site description</b> Single storey freestanding corrugated iron roof residence that forms part of the historical streetscape of Auckland Park. The wooden entrance door with the stained glass windows on the corner of Twickenham Avenue and Cookham Road leads to the column-supported corner stoep with main entrance to the building structure.	

### Locality map



Fig. 91 Stand 92 is located on the south-western corner of Twickenham Avenue and Cookham Road  
(Source: City Council of Johannesburg, GIS map)

Original application of approval for Stand 92 (No original plan!)

**MUNICIPAL COUNCIL OF JOHANNESBURG.**  
**MUNICIPALE RAAD VAN JOHANNESBURG.**

**Application for Approval of Plans.**  
**Applikasie voor Goedkeuring van Tekeningen**

16<sup>th</sup> March 1922

TO THE TOWN ENGINEER,  
MUNICIPAL COUNCIL OF JOHANNESBURG.  
Aan de STADS ENGENIEUR, MUNICIPALE RAAD VAN JOHANNESBURG.

I herewith beg to submit Plans, Sections, and Elevations for Passage - New Building -  
New Building, Alteration, Addition or Drains.

It was herewith to granting voor te dragte tekeningen, afdruksels, en omtrent voor

under the Domestic Class  
under de Heuse Huuse Klasse

Class to be executed by me on Stand No. 92  Residential  Commercial  Industrial  Public  Other

Such Stand having frontage to Werkendam Avenue & Cookham Road and also

submit the following proposed means of construction and other particulars—

External Walls to be built of 11" hollow bricks of Brick, state quality Stock Brick

Internal Walls to be built of 9" x 4 1/2" walls of Brick, state quality Site

Mortar in Walls to be composed of lime ~~lime & sand 1:3~~

Mortar in Mason to be of lime

Plaster to be of Malta

Foundations to be of stone Mortar composed of lime & sand 1:3

Roof to be covered with galv corrugated iron

Stairs-width of going 11" in. Height of Rise 7" in. 11" in. 7" in.

Minimum Height of Floor above ground 1' 6" Substructure of concrete & iron

	inches	inches	inches	inches
	Span	Span	Span	Span
Ground Floor Joists	4 1/2	1 1/2	spaced	18" apart
First Floor Joists	4 1/2	1 1/2	spaced	18" apart
Roof Ceiling Joists	4 1/2	1 1/2	spaced	18" apart
Roof Rafter	4 1/2	1 1/2	spaced	4' 0" apart

NOTE.—Applicants are recommended to supply themselves with the Water By-Laws of the Council.  
KENNIS.—Applikasie wordende te nie gesien sijn behoud te stelling met die Water By-Laws van die Raad.

Drainage Arrangements:  
Material of Sewage Drains 4" stoneware piping to french drain

Material of Soil Pipes stoneware

Material of Waste Pipes trapped and anti-siphon

Material of Ventilation Shafts trapped

Habitable Rooms—Will the Window Space be at least 1/10th area of Floor? yes

Will there be Gutters and Down Pipes on Roof? yes

Climate—Will such be provided with at least 2 sq. ft. of Light and Ventilation? yes

Waste Water—How Disposed of drain

Architect (if any) Gordon Leith

Address of Office Commercial Bank Bldg 97 Top & Lower St

Signature of Owner S. W. van Nieuwkerk

Owner to also Sign Plans. Eigenaar moet ook de Tekening tekene.

P.O. Address of Owner Mullerstr

NOTE.—Extra particulars are to be furnished in regard to Public Buildings, High Buildings, and Fire Proof Structures. Statistiese praeke te be geeve of Skets Duiet and other spesiale

PUBLIC BUILDINGS.—Applikasie vir goedkeuring van Tekeninge van Publieke Geboue en Brandveilige Geboue. Statistiese praeke moet verskaf word en ook sijn skets

PUBLIC FIRE PROOF BUILDINGS.—Applikasie vir goedkeuring van Tekeninge van Publieke Brandveilige Geboue. Statistiese praeke moet verskaf word en ook sijn skets

Fig. 92 Original Application of Approval form for building plans indicates the building year 1922 and the well-known architect Gordon Leith (Source: City Council of Johannesburg, Plans Archive)



## Identifying Images



Fig. 93 View towards the entrance on the corner of Twickenham Avenue and Cookham Road with the single storey corrugated iron roof residence behind the boundary wall  
(Source: tsica heritage consultants, 2015)

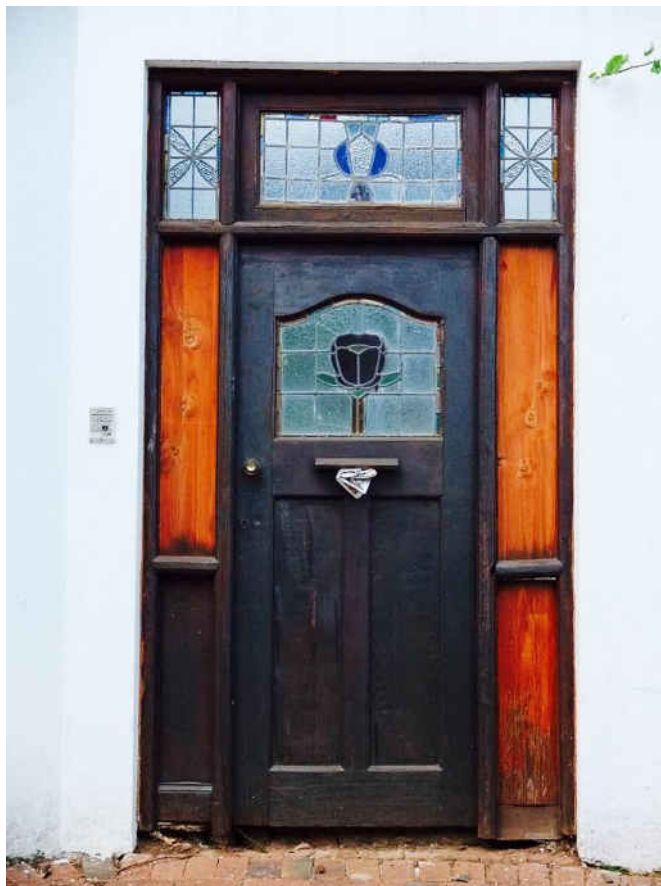


Fig. 94 Detail of wooden entrance door with stained glass windows  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Medium to High densities (160-250dph) new buildings suggested maximum scale is 6-8 and a minimum of 4 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1922 was built by well-known architect Gordon Leith and forms part of unique streetscape on corner Twickenham Avenue and Cookham Road. It is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitively towards existing built environment.</p>
<p><b>Transport</b> Site is located in close proximity of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use Development</b> Site falls within mixed-use development along Empire-Perth Roads</p>	<p><b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans.</p>

### Conservation Management Policies\_Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain types of residential buildings that exhibit uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Well-preserved single storey corner residential building from 1922 can be used as good example of residential corner buildings in Auckland Park
Weakness	High boundary wall blocks view from street side
Risk/ Threat	The site is located in an area of medium to high density development area along Empire-Perth Roads and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Twickenham Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 7.6.9. Single storey freestanding residential building\_Stand 1/71

Address	29 Ditton Avenue
Stand no.	1/71
Current zoning	Residential 1
Year of erection	1931
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3C
<p><b>Site description</b></p> <p>Single storey freestanding corrugated iron roof residence with centrally located front veranda and half-rounded side bay window forms part of the historical streetscape of Auckland Park. It is a well-preserved example of the 1930s freestanding residences in this area.</p>	

### Locality map

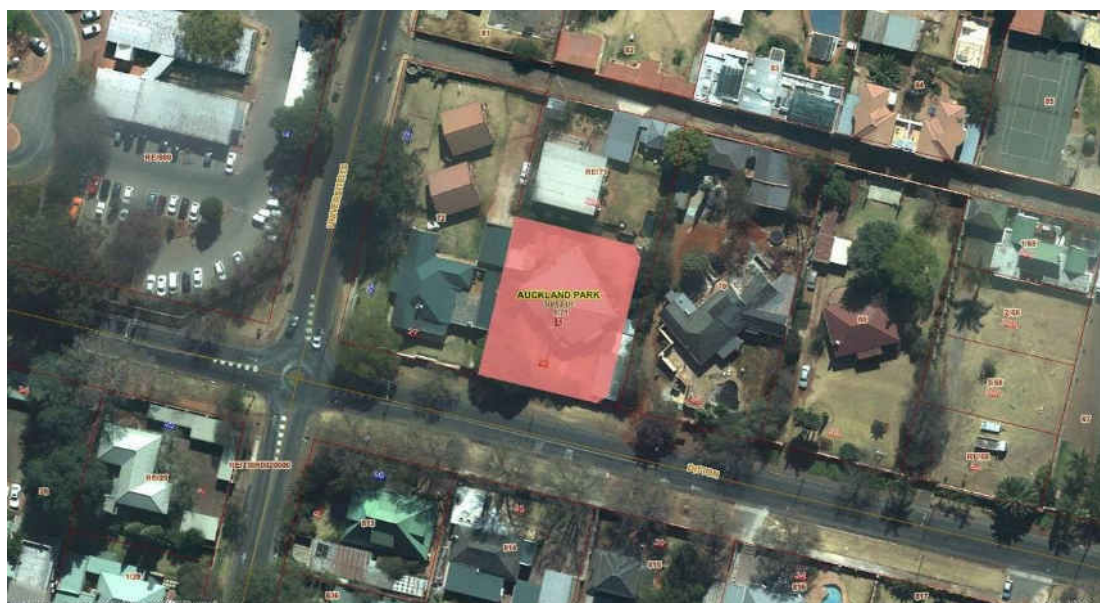


Fig. 95 Stand 71 is located along the northern side of Ditton Avenue  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 1/71

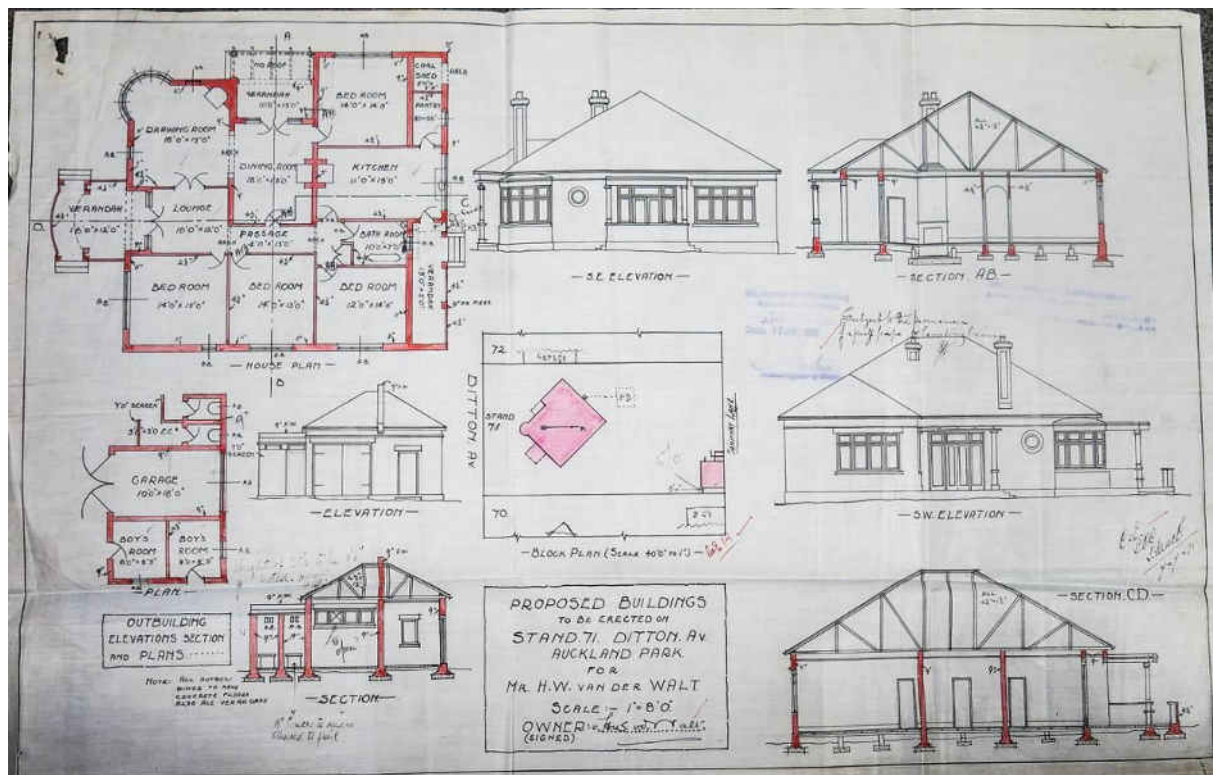


Fig. 96 Original plan for proposed building on Stand 71 for Mr H.W. van der Walt from (Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 97 Single storey residence with corrugated iron roofing only visible through gate (Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Typical single storey residence from 1931 forms part of the existing historical streetscape along the northern side of Ditton Avenue but can be altered or demolished after detailed documentation.</p>
<p><b>Transport</b> Site falls outside existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls outside mixed-use development along Empire-Perth Roads</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.10. Single storey freestanding residential building\_Stand 69

Address	33 Ditton Avenue
Stand no.	69
Current zoning	Residential 1
Year of erection	1931
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<p><b>Site description</b> Single storey red face brick freestanding corrugated iron roof residence with centrally located front veranda forms part of the historical streetscape of Auckland Park. It is a well-preserved example of the 1930s freestanding residences in this area.</p>	

### Locality map



Fig. 98 Stand 69 is located along the northern side of Ditton Avenue  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 69

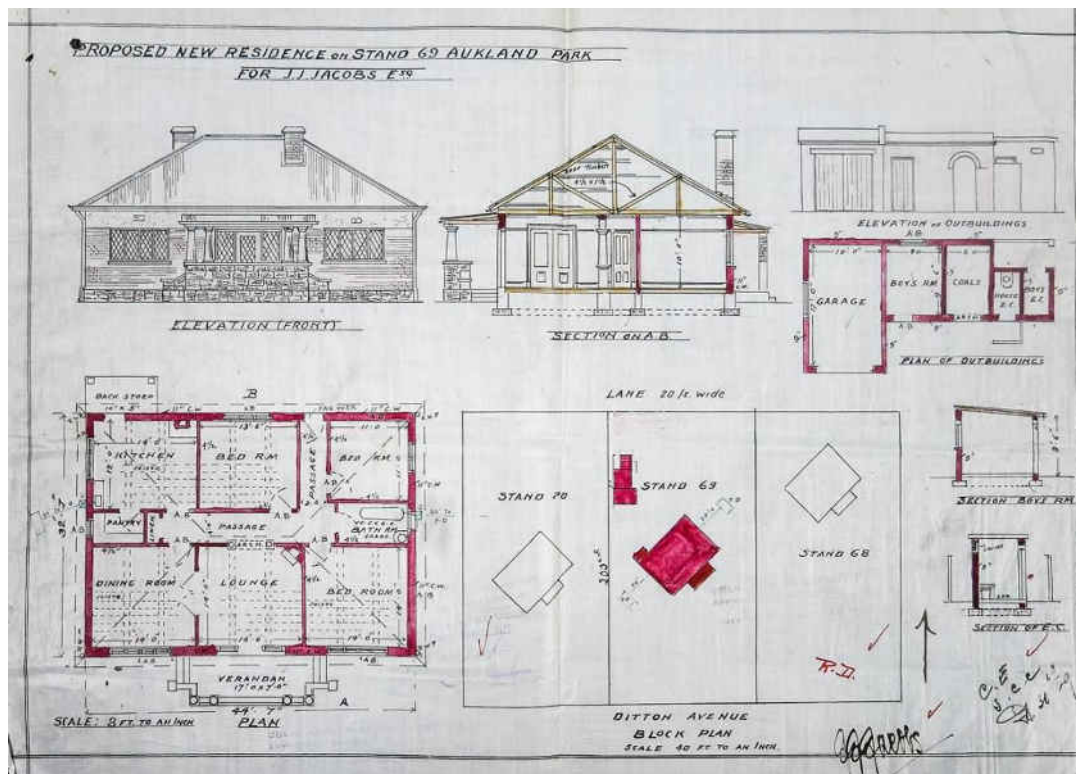


Fig. 99 Original plan for proposed new residence on Stand 69 for J.J. Jacobs from 1929 (Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 100 Single storey red brick residence forms part of historical streetscape along Ditton Avenue (Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1931 forms part of unique streetscape along the northern side of Ditton Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Site is located in close proximity of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls within mixed-use development along Empire-Perth Roads</p>	<p><b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Well-preserved single storey residential building from 1931 can be used as good example in Auckland Park
Weakness	High boundary walls blocks view from street side
Risk/ Threat	The site is located in an area of low to medium density development area along Empire-Perth Roads and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Ditton Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in

accordance with the National Heritage Resources Act of 1999 section 34 or section 36

- Public facilitation takes place prior to any development

### 7.6.11. Single storey freestanding residential building\_Stand 816

Address	34 Ditton Avenue
Stand no.	816
Current zoning	Residential 1
Year of erection	1930s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
SAHRA grading	3A
<p><b>Site description</b> Single storey freestanding corrugated iron roof residence with centrally located front veranda forms part of the historical streetscape of Auckland Park. It is a well- preserved example of the 1930s freestanding residences in this area.</p>	

### Locality map

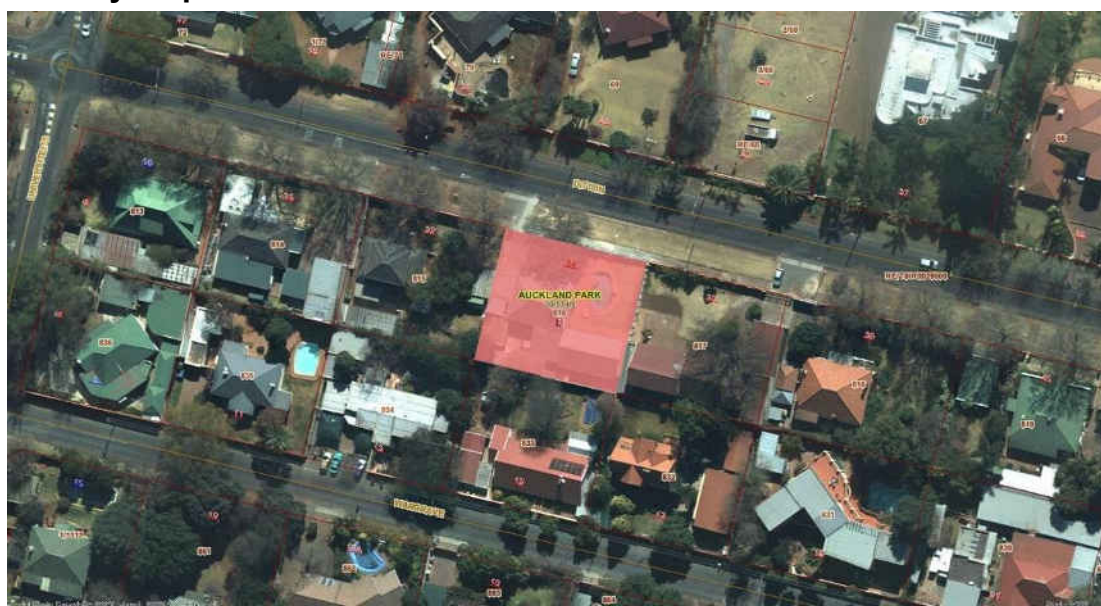


Fig. 101 Stand 816 is located along the southern side of Ditton Avenue  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Images

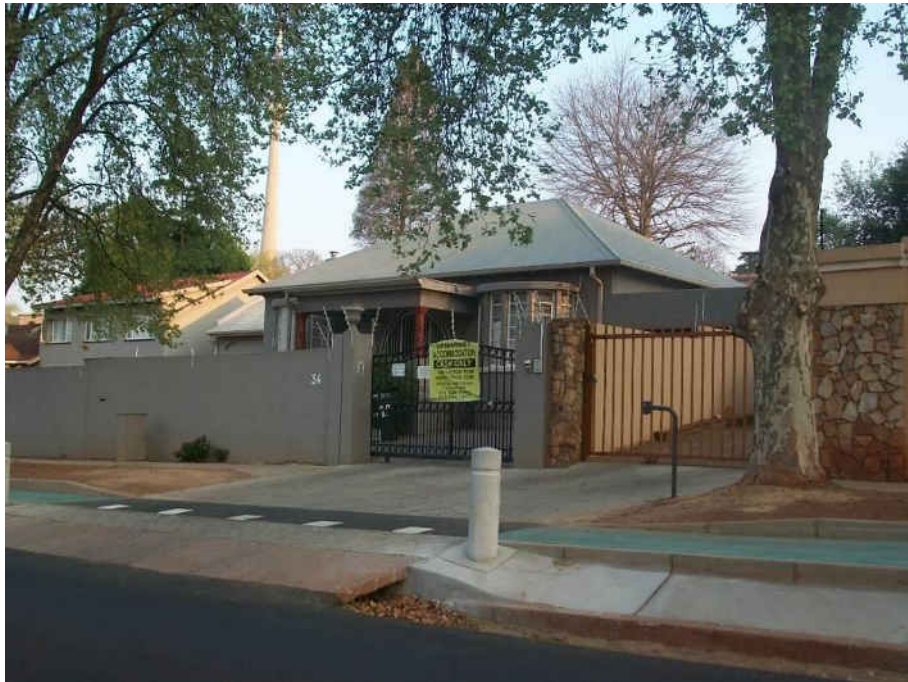


Fig. 102 View towards the northern façade of the single storey freestanding residence with corrugated iron roof  
(Source: tsica heritage consultants, 2015)



Fig. 103 Centrally located front stoep with arched entrance and half rounded bay windows on either side  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1930s forms part of unique streetscape along the southern side of Ditton Avenue. It is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitively towards existing built environment.</p>
<p><b>Transport</b> Site is located in close proximity of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use Development</b> Site falls within mixed-use development along Empire-Perth Roads</p>	<p><b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans in close proximity.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Good example of well-preserved single storey residential building with centrally-located stoep and bay windows either side from 1930s can be used as good example of residential buildings in Auckland Park
Weakness	Alterations to stoep and paint are not according to original design
Risk/ Threat	The site is located in an area of low to medium density development and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Ditton Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity



- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 7.6.12. Single storey freestanding residential buildings\_Stand 839 to 842

Address	34 Ditton Avenue
Stand no.	839 to 842
Current zoning	Residential 1
Year of erection	Late 1910s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<p><b>Site description</b></p> <p>Single storey freestanding corrugated iron roof residences with one-sided triangular gable and open veranda on the corner. The residences form part of the historical streetscape of Auckland Park. They are all well-preserved examples of the late 1910s freestanding residences in this area.</p>	

### Locality map



Fig. 104 Stands 839 to 842 are located along the southern side of Ditton Avenue in close proximity to Henley Road and form part of a historical streetscape along Ditton Avenue (Source: City Council of Johannesburg, GIS map)

**Original plan for Stand 887 (former Stand 6) but similar design for Stands 839 to 842**

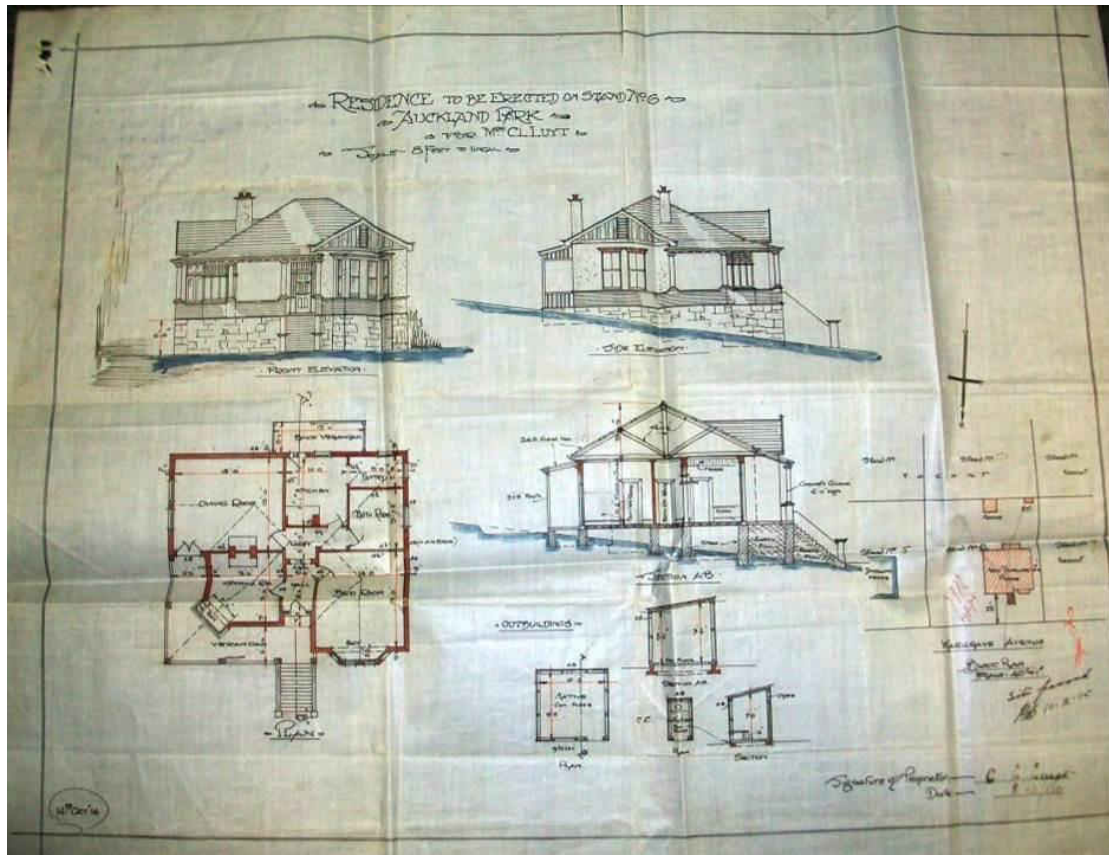


Fig. 105 Original plan for proposed new residence on Stand 887 from 1915 (Source: City Council of Johannesburg, Plans Archive)

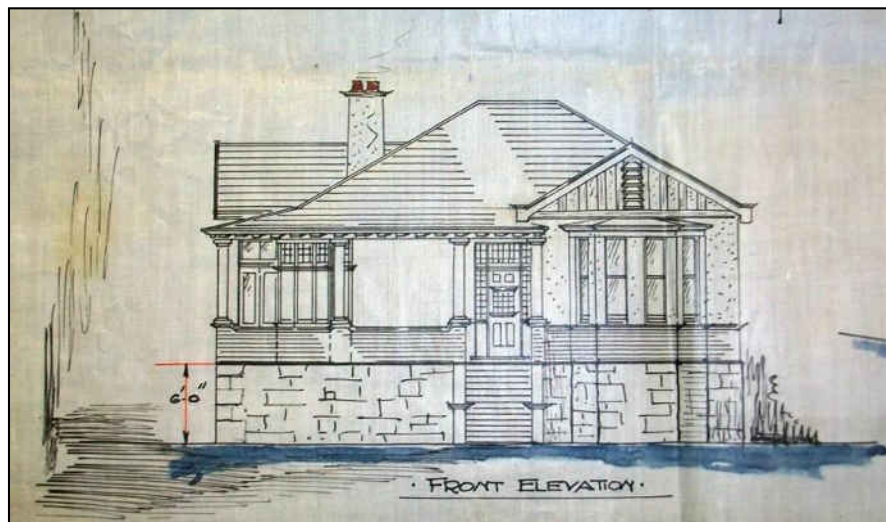


Fig. 106 Typical front elevation design for residence around 1915 in Auckland Park (Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 107 View towards the northern façade of the single storey freestanding residence with corrugated iron roof  
(Source: tsica heritage consultants, 2015)



Fig. 108 View towards the northern façade of the single storey freestanding residence with corrugated iron roof and triangular gable with bay window  
(Source: tsica heritage consultants, 2015)



Fig. 109 View towards the northern façade of the single storey freestanding residence with corrugated iron roof and triangular gable with bay window  
(Source: tsica heritage consultants, 2015)

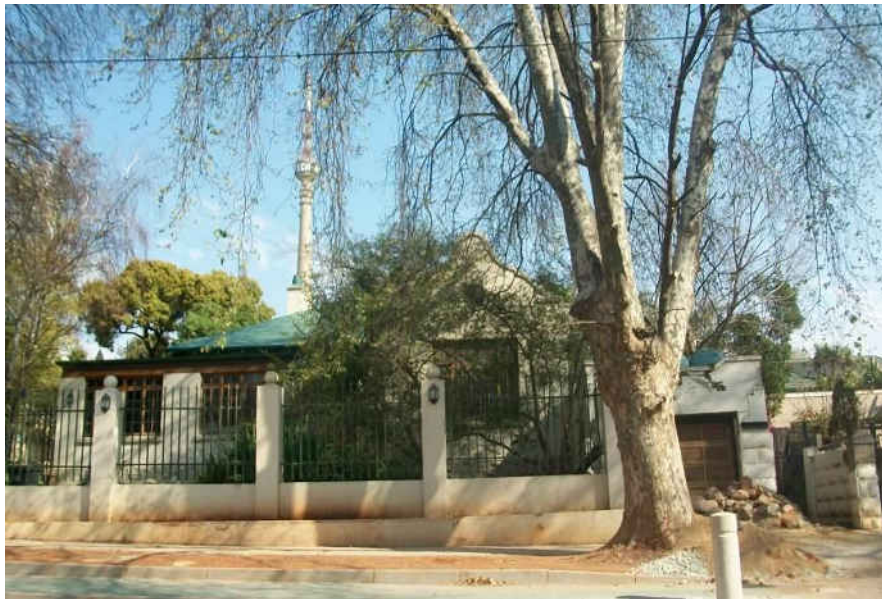


Fig. 110 View towards the northern façade of the single storey freestanding residence with corrugated iron roof and semi-Dutch gable with bay window  
(Source: tsica heritage consultants, 2015)



Fig. 111 View towards the northern façade of the single storey freestanding residence with corrugated iron roof and triangular gable  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

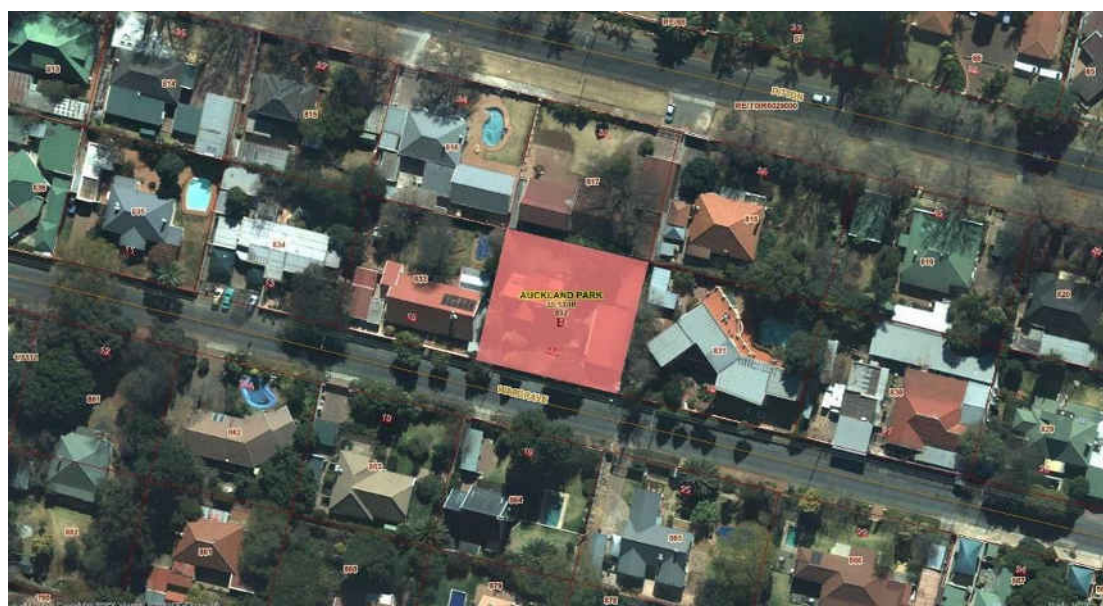
<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> A number of single storey residences from around 1910 form part of unique streetscape along the southern side of Ditton Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Sites fall out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Sites fall out of mixed-use development along Empire-Perth roads</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.13. Single storey freestanding residential building\_Stand 832

Address	17 Wargrave Avenue
Stand no.	832
Current zoning	Residential 1
Year of erection	1930s
Architect	Unknown
Heritage significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
SAHRA grading	3A
<p><b>Site description</b></p> <p>Single storey freestanding red face brick residence with centrally-located triangular front gable and replaced tiled roofing. Building forms part of historical streetscape and is a good example of the 1930s freestanding residences in Auckland Park.</p>	

### Locality map

Fig. 112 Stand 832 is located along the northern side of Wargrave Avenue



(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 113 Single storey red face brick residence with steep pitched tiled roof and triangular centrally located front gable, roof is used as additional living space  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1930s forms part of unique streetscape along the northern side of Wargrave Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Sites fall out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>



<b>Mixed-use Development</b> Site falls outside mixed-use development along Empire-Perth Roads	<b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans in close proximity.
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## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

### Swot analysis

Analysis	Result
Strength	Good example of well-preserved single storey residential building with high gables from 1930s in Auckland Park
Weakness	High wall blocks view from street side
Risk/ Threat	The site is located in an area of low to medium density development and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Wargrave Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout

## **Conservation Management Policies\_Residential sites**

### **Views/Vistas**

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### **Fabric and setting**

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### **Management**

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### **Future development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

#### 7.6.14. Single storey freestanding residential building\_Stand 835

Address	11 Wargrave Avenue
Stand no.	835
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3C
<b>Site description</b> Single storey residence with centrally-located front stoep that is closed off and corrugated iron roofing. Building forms part of a historical streetscape a good example of freestanding residences in Auckland Park, even after alterations and additions.	

#### Locality map

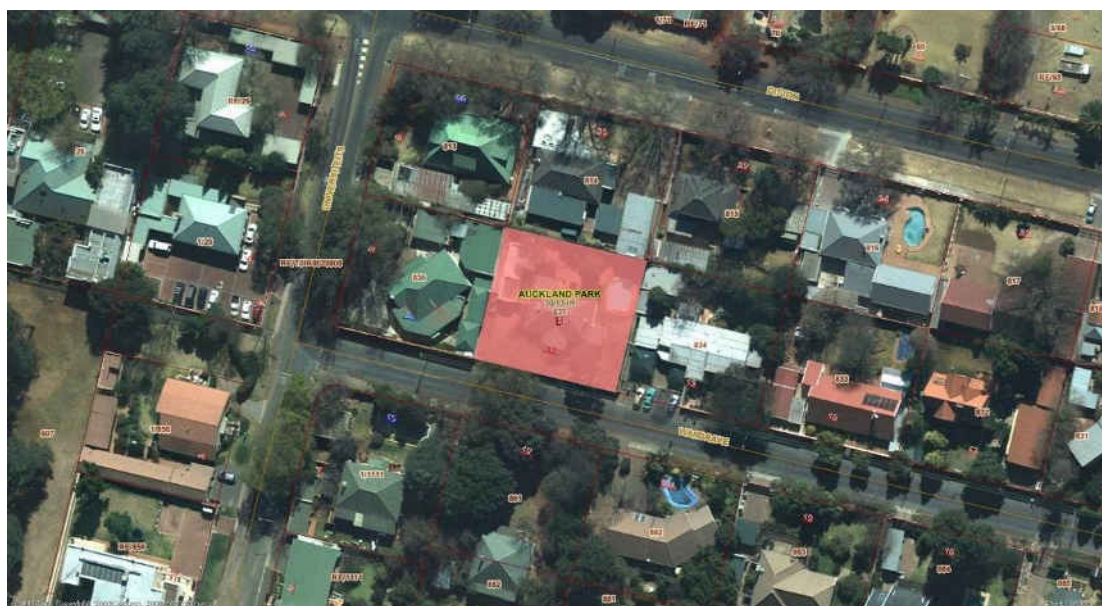


Fig. 114 Stand 835 is located along the northern side of Wargrave Avenue in close proximity to University Road  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 115 Single storey residence with centrally located front stoep which was more recently enclosed  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Typical single storey residence from 1920s forms part of the existing historical streetscape along the northern side of Wargrave Avenue but can be altered or demolished after detailed documentation.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>

<b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road	<b>Recommendations</b> Not applicable.
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### 7.6.15. Single storey freestanding residential building\_Stand 889

Address	44 Wargrave Avenue
Stand no.	889
Current zoning	Residential 1
Year of erection	Around 1910s
Architect	Unknown
Heritage significance	Architectural/ Historical
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<p><b>Site description</b></p> <p>Single storey freestanding corrugated iron roof residence with a front stoep which covers the whole length of the front façade. The residence forms part of the historical streetscape of Auckland Park. The residence is a well-preserved example of the late 1910s freestanding residences in this area with original wooden windows and entrance door.</p>	

#### Locality map

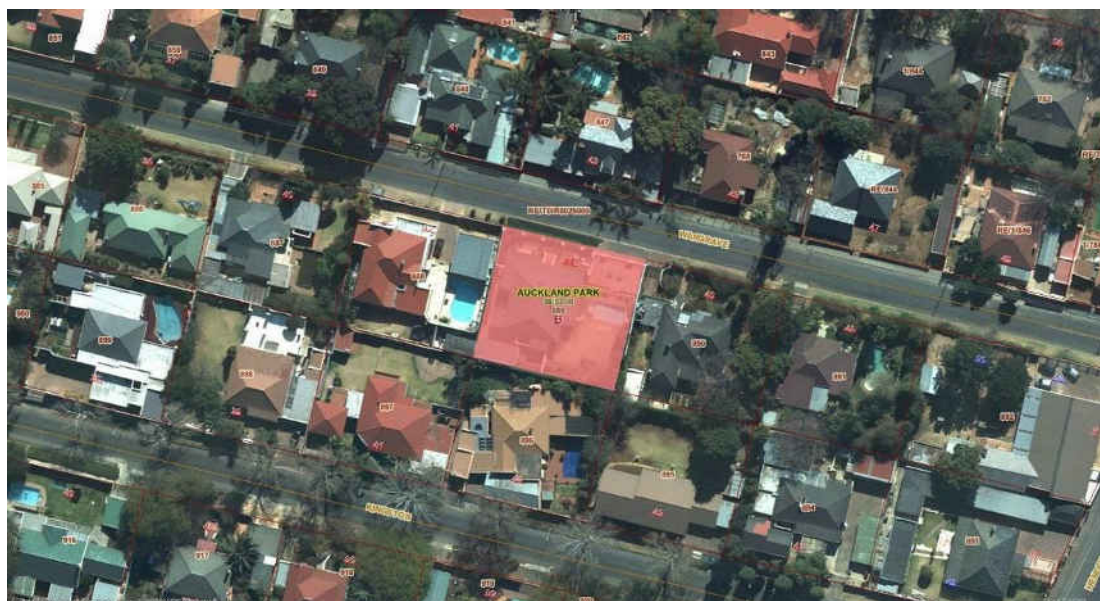


Fig. 116 Stand 889 is located along the southern side of Wargrave Avenue in close proximity to Henley Road

(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 117 View towards the northern façade of the single storey freestanding residence with corrugated iron roof and front stoep along the north elevation  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well-preserved single storey residence from around 1910 forms part of unique streetscape along the southern side of Wargrave Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b></p>	<p><b>Recommendations</b> Not applicable.</p>

No social cluster development is ear marked for this area	
<b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road	<b>Recommendations</b> Not applicable.



### 7.6.16. Single storey freestanding residential building\_Stand 930

Address	2 Finsbury Avenue
Stand no.	930
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3C
<b>Site description</b> Single storey residence with corrugated iron roofing and triangular gables along the front façade. Residence forms part of historical streetscape within Auckland Park.	

### Locality map

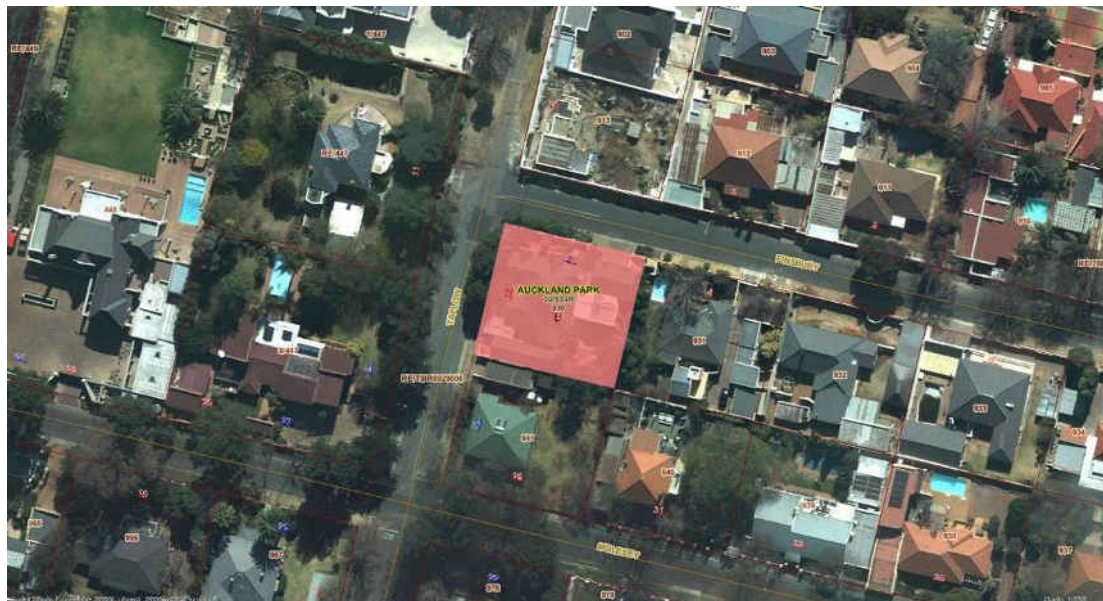


Fig. 118 Stand 930 is located along the south-eastern corner of Finsbury Avenue and Taplow Road

(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 119 Single storey residence with corrugated iron roofing was added on to along the eastern side but still forms part of historical corner streetscape in Auckland Park  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Typical single storey corner residence from the 1920s forms part of the existing historical streetscape along Finsbury Avenue but can be altered or demolished after detailed documentation.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>

<b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road	<b>Recommendations</b> Not applicable.
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### 7.6.17. Single storey freestanding residential building\_Stand 943

Address	16 Finsbury Avenue
Stand no.	943
Current zoning	Residential 1
Year of erection	Late 1910s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Single storey residence with corrugated iron roofing and corner stoep that forms part of a historical streetscape. Building structure is still in a very good condition and mirrors the original look of most of the streets in Auckland Park.	

#### Locality map



Fig. 120 Stand 943 is located along the southern side of Finsbury Avenue in close proximity to Cookham Road  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Images



Fig. 121 Single storey residence with natural stone plinth and columns supported corner stoep  
(Source: tsica heritage consultants, 2015)



Fig. 122 The rectangular wooden bay windows form part of the historical street façade  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well-preserved single storey residence with corner front stoep from around 1920 forms part of unique streetscape along the southern side of Finsbury Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use Development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.18. Single storey freestanding residential building\_Stand 944

Address	18 Finsbury Avenue
Stand No.	944
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3C
<b>Site description</b> Single storey residence with corner stoep and natural stone plinth is still in a good condition and forms part of the historical streetscape along Finsbury Avenue.	

### Locality map

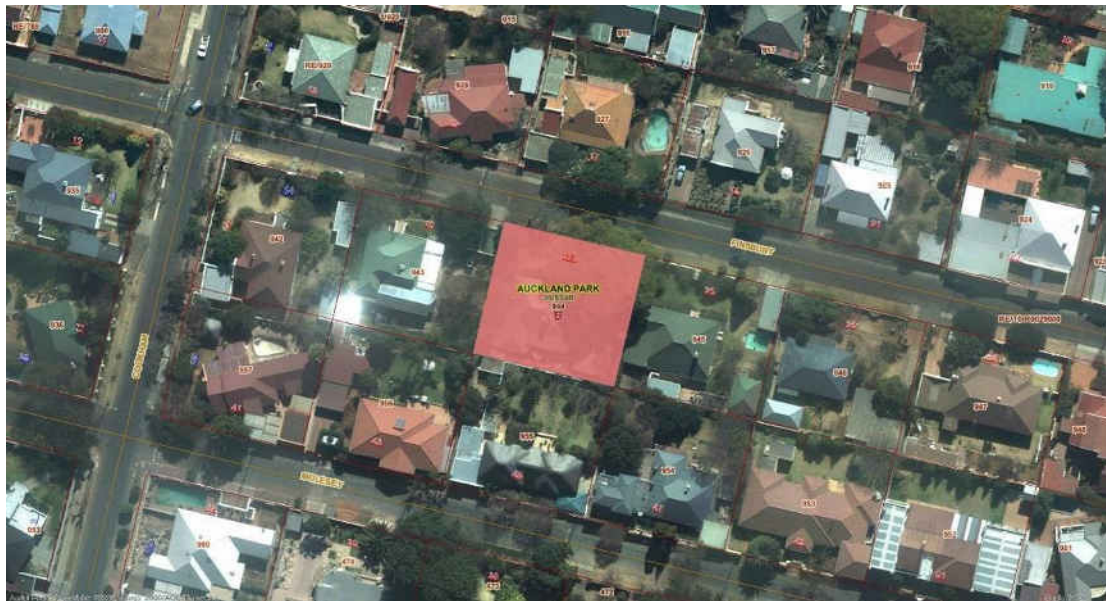


Fig. 123 Stand 943 is located along the southern side of Finsbury Avenue in close proximity to Cookham Road  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 124 Single storey residence with corrugated iron roofing and natural stone plinth forms part of historical streetscape along Finsbury Avenue  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Typical single storey residence from 1920s forms part of the existing historical streetscape along the southern side of Finsbury Avenue but can be altered or demolished after detailed documentation.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Not applicable.</p>



### 7.6.19. Single storey freestanding residential building\_Stand 926

Address	19 Finsbury Avenue
Stand no.	926
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Single storey residence with corrugated iron roofing and one-sided semi-Dutch gable forms part of historical streetscape along Finsbury Avenue.	

#### Locality map

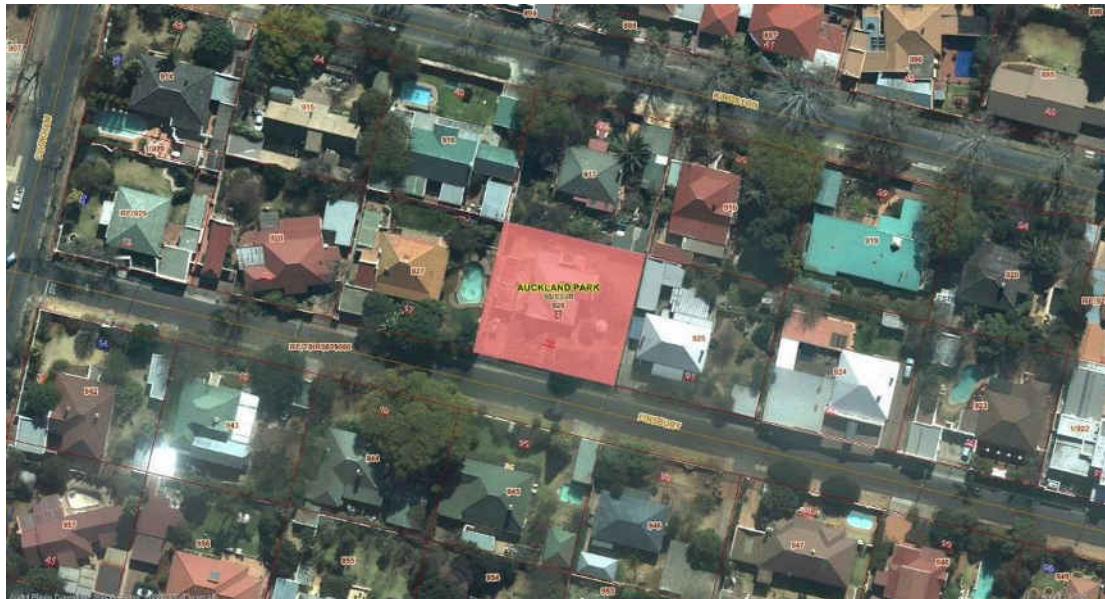


Fig. 125 Stand 926 is located along the northern side of Finsbury Avenue in close proximity to Cookham Road  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 126 Single storey residence with one sided semi-Dutch gable and corner stoep  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well-preserved single storey residence with corner front stoep from around the 1920s forms part of unique streetscape along the northern side of Finsbury Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.20. Double storey freestanding residential building\_Stand 1/452

Address	7 Molesey Avenue
Stand no.	1/452
Current zoning	Residential 1
Year of erection	1925
Architect	H.W. Spicer
Heritage significance	Architectural/ Historical
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history; (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa
SAHRA grading	3A
<p><b>Site description</b></p> <p>Double storey residence with tiled roof and wide roof overhang is owned and used by the University of Johannesburg. The building structure built by H.W. Spicer, well-known architect in Johannesburg, forms part of a historical streetscape along the northern side of Molesey Avenue.</p>	

### Locality map

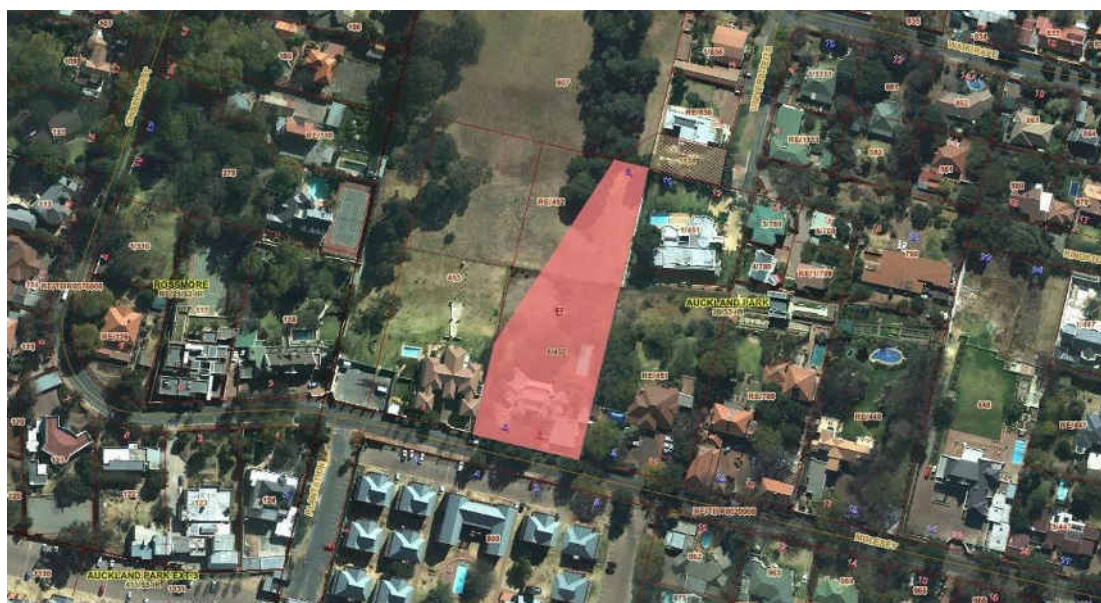


Fig. 127 Stand 1/452 is located along the northern side of Molesey Avenue (Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 452

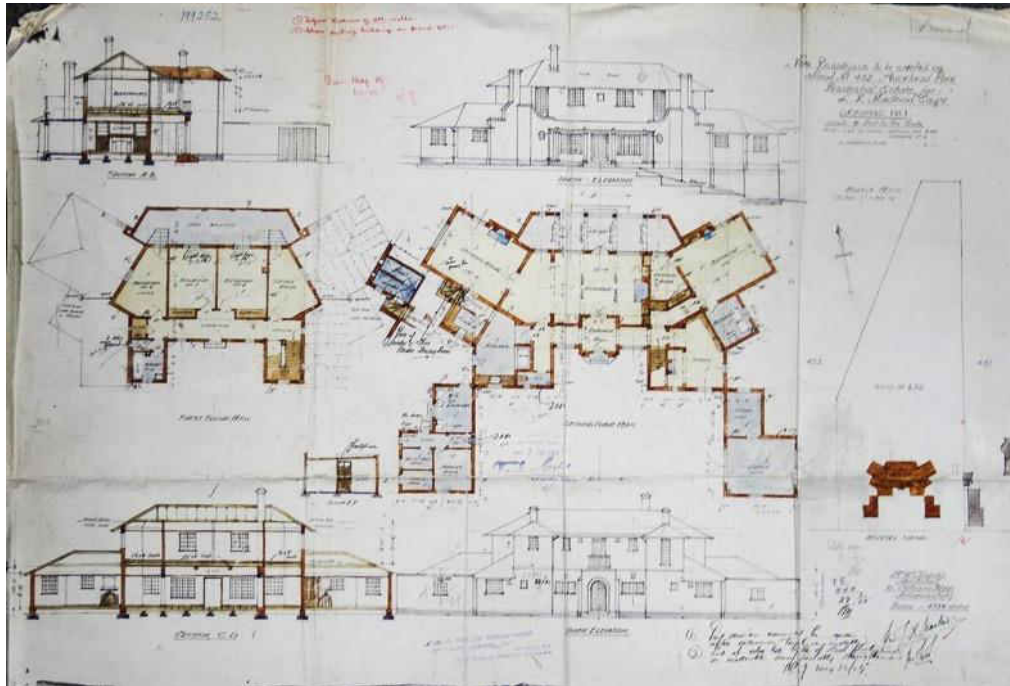


Fig. 128 New residence to be erected on Stand 452, Auckland Park for L.R. McLeod in 1925 by the well-known architect H.W. Spicer  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Image

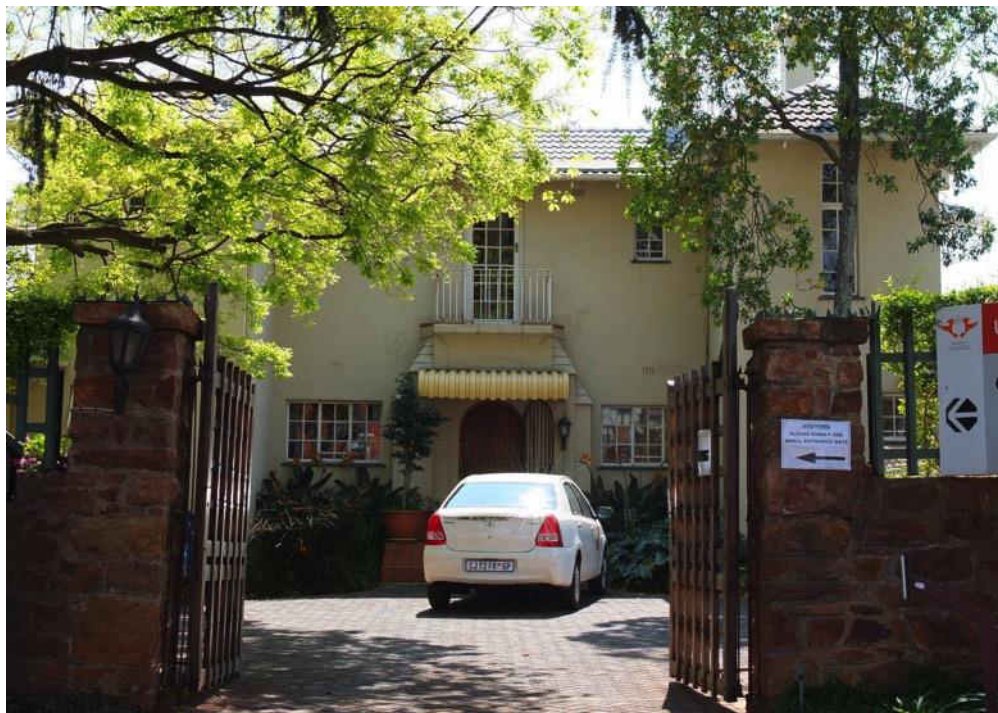


Fig. 129 Double storey residence with tiled roofing and wide roof overhang, some alterations and additions were done to the building structure  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well-preserved double storey residence from 1925 forms part of unique streetscape along the northern side of Molesey Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.21. Double storey freestanding residential building\_Stand RE/789

Address	15 Molesey Avenue
Stand no.	RE/789
Current zoning	Residential 1
Year of erection	1923
Architect	Allen Wilson (later alterations and additions done by H.W. Spicer)
Heritage significance	Architectural/Historical
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(b) its importance in the community, or pattern of South Africa's history; (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa
SAHRA grading	3A
<p><b>Site description</b></p> <p>The Sir Julius Jeppe residence was built in 1923 by Allen Wilson and was altered and added to in 1926/28 by H.W. Spicer (see plans). The double storey residence with clay tiled roofing still has a number of original features like the brick chimneys that dominate the roof structure and the wooden windows. The residence forms part of a historical streetscape along the northern side of Molesey Avenue.</p>	

### Locality map

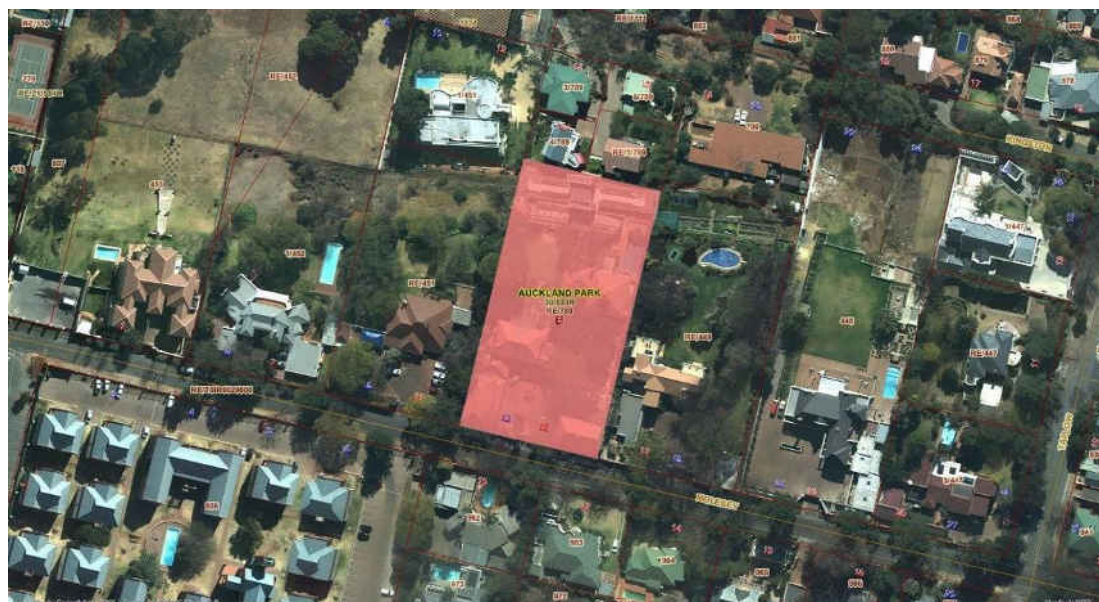


Fig. 130 Stand RE/789 is located along the northern side of Molesey Avenue  
(Source: City Council of Johannesburg, GIS map)

**Alteration and addition plans for Stand RE/789 by H.W. Spicer**

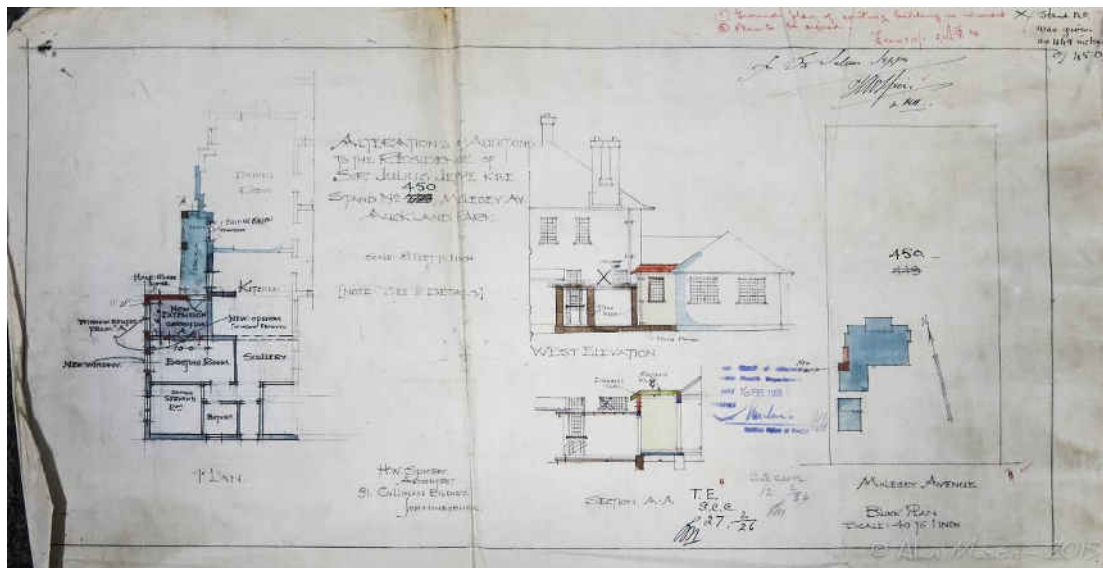


Fig. 131 Alteration and addition plan for residence on Stand 450 along the western elevation of the building structure  
(Source: City Council of Johannesburg, Plans Archive)

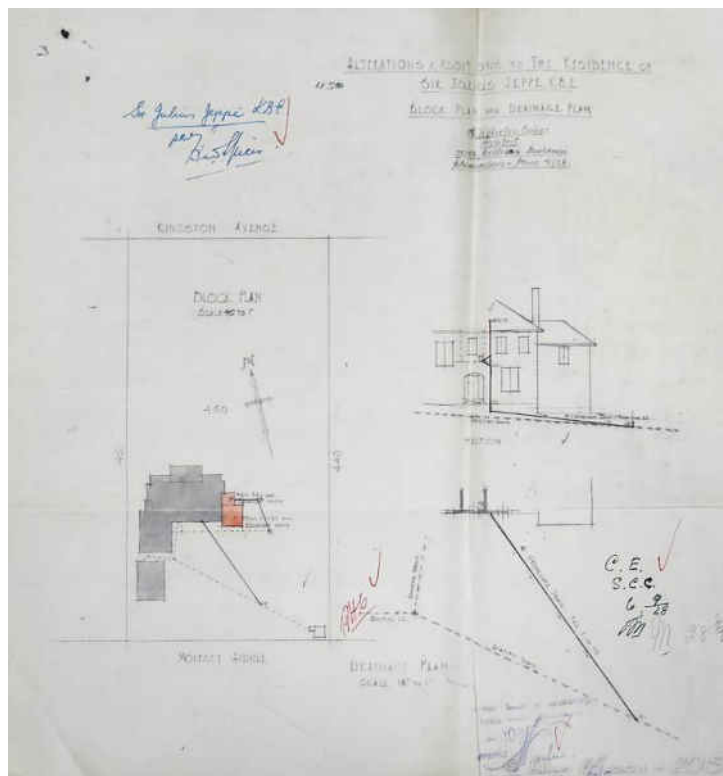


Fig. 132 Alteration and addition plan for the Residence of Sir Julius Jeppe by H.W. Spicer along the eastern elevation of the building structure  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 133 View in northern direction along Molesey Avenue Julius Jeppe's residence built in 1923 by Allen Wilson  
(Source: tsica heritage consultants, 2015)



Fig. 134 South elevation with main entrance to Julius Jeppe residence along Molesey Avenue  
(Source: tsica heritage consultants, 2015)



## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well-preserved double storey residence for Julius Jeppe from 1923 forms part of unique streetscape along the northern side of Molesey Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.22. Double storey freestanding residential building\_Stand RE/449

Address	17 & 19 Molesey Avenue
Stand no.	RE/449
Current Zoning	Residential 1
Year of erection	1925
Architect	Allen Wilson
Heritage significance	Architectural/ Historical
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(c) its importance in the community, or pattern of South Africa's history; (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa
SAHRA grading	3A
<p><b>Site description</b></p> <p>The residence for Harold Jeppe was built in 1925 by the well-known architect Allen Wilson. He designed the residences for Julius Jeppe and Elise Jeppe in the same street. Note that residence at 17 Molesey Avenue is not visible from the street.</p>	

### Locality map



Fig. 135 Stand RE/449 is located along the northern side of Molesey Avenue  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 449

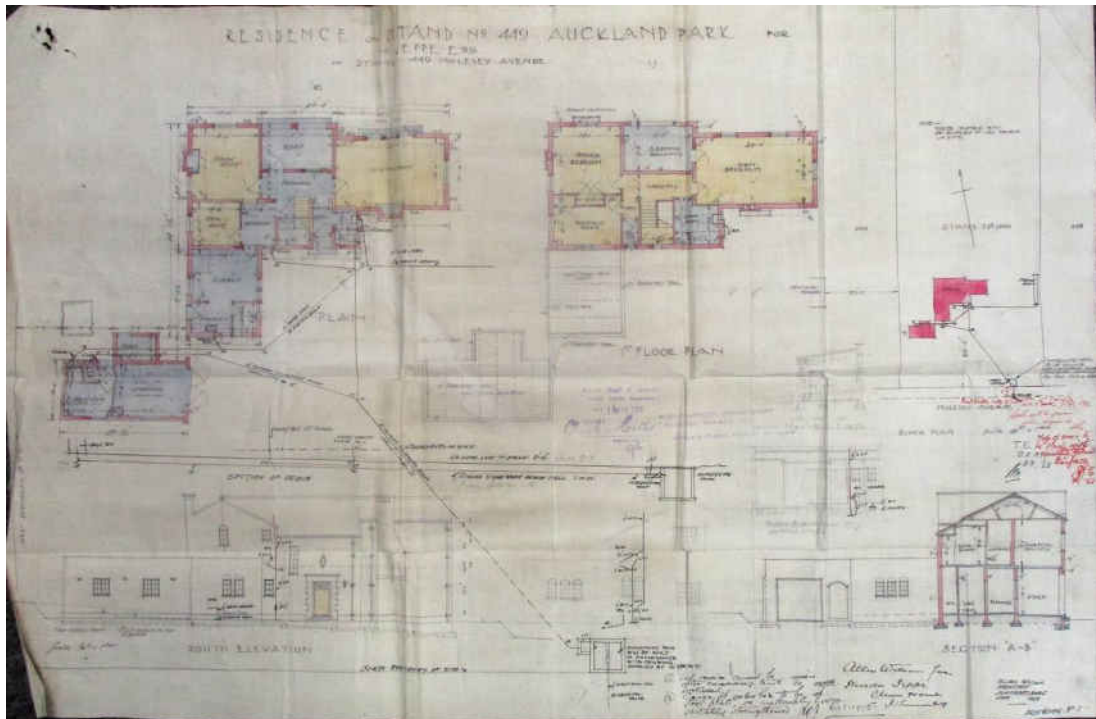


Fig. 136 Original plan for proposed double storey residence on Stand 449, Auckland Park in 1925 by Allen Wilson  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Images

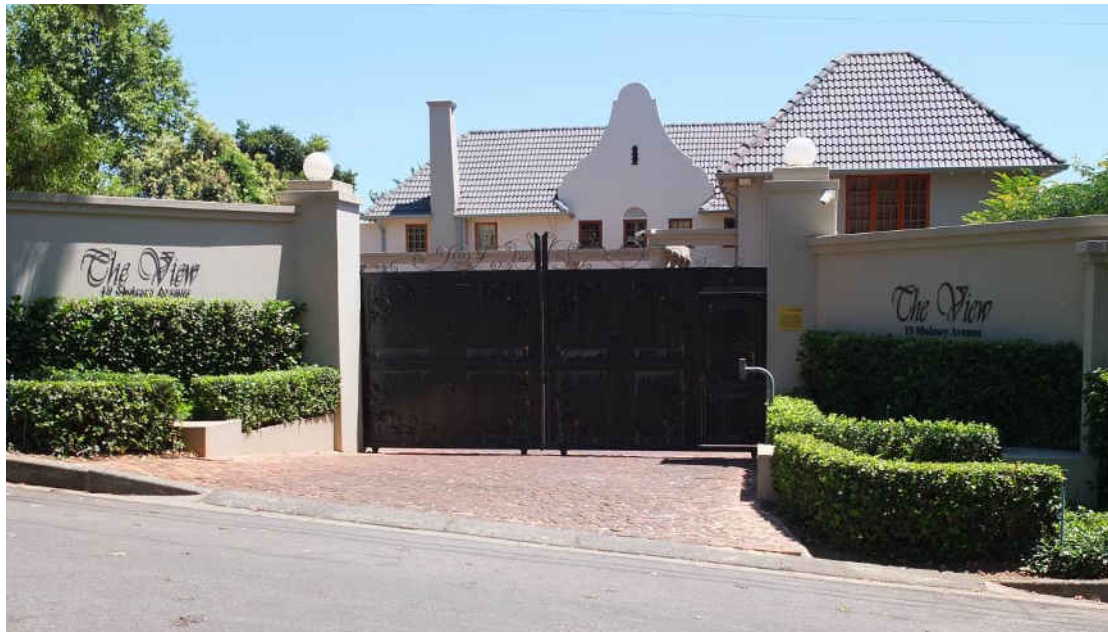


Fig. 137 South elevation with main entrance to 19 Molesey Avenue, now The View\_B&B  
(Source: tsica heritage consultants, 2015)



Fig. 138 North elevation of altered and added residence on 19 Molesey Avenue  
(Source: <http://www.theviewhotel.co.za/>)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well- preserved double storey residence for Harold Jeppe from 1925 forms part of unique streetscape along the northern side of Molesey Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.23. Single storey freestanding residential building\_Stand 941

Address	29 Molesey Avenue
Stand no.	941
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
SAHRA grading	3A
<b>Site description</b> Typical single storey freestanding residence with corrugated iron roofing and red face brick façade, two pairs of double columns supporting the centrally located front stoep roof. Residence forms part of historical streetscape within Auckland Park.	

#### Locality map



Fig. 139 Stand 941 is located along the northern side of Finsbury Avenue in close proximity to Cookham Road

(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Image



Fig. 140 Typical single storey freestanding residence with corrugated iron roofing and red face brick façade, two pairs of double columns supporting the centrally located front stoep roof

(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well-preserved typical single storey residence with centrally-located stoep and bay windows on either side from 1920s forms part of unique streetscape along the northern side of Molesey Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>

<b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road	<b>Recommendations</b> Not applicable.
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#### 7.6.24. Double storey freestanding residential building\_Stand 940

Address	31 Molesey Avenue
Stand no.	940
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Double storey residence with tiled roof and strong architectural design features from the 1920s such as the pressed ceiling on the top floor balcony and the columns along main entrance and balcony. All woodwork including the bay windows and doors are still in a very good condition and make the residence form part of the historical streetscape of Auckland Park.	

#### Locality map



Fig. 141 Stand 941 is located along the northern side of Finsbury Avenue in close proximity to Cookham Road  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Images



Fig. 142 Double storey residence with tiled roofing and prominent design features of the 1920s  
(Source: tsica heritage consultants, 2015)

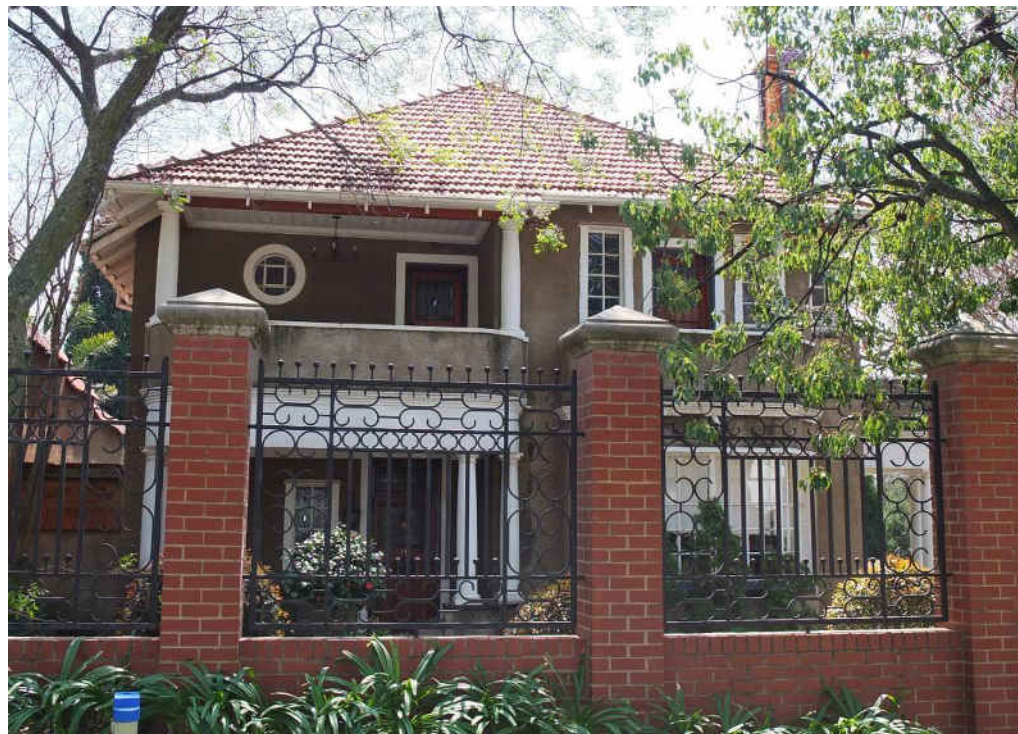


Fig. 143 Residence with tiled roof and wide roof overhang is still in a very good condition  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well-preserved double storey residence from around 1920s forms part of unique streetscape along the northern side of Molesey Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.25. Double storey freestanding residential building\_Stand 473

Address	38 Molesey Avenue
Stand no.	473
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Single storey freestanding residence with corrugated iron roof and centrally-located front stoep. The half-rounded wooden bay windows on either side of the stoep are still in a very good condition. Residence forms part of historical streetscape along Molesey Avenue.	

### Locality map



Fig. 144 Stand 473 is located along the southern side of Molesey Avenue  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Images

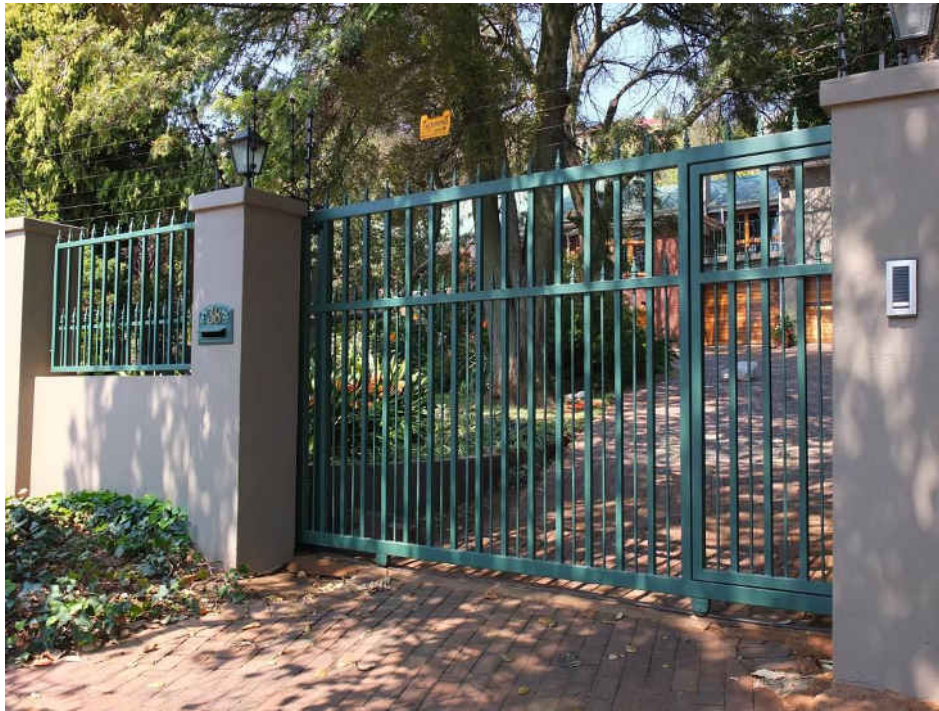


Fig. 145 Single storey residence with corrugated iron roof forms part of historical streetscape along Molesey Avenue  
(Source: tsica heritage consultants, 2015)



Fig. 146 A number of original design features are visible and still in a very good condition, like wooden windows and doors  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Well-preserved typical single storey residence with centrally-located stoep and bay windows on either side from 1920s forms part of unique streetscape along the southern side of Molesey Avenue and it is therefore recommended that the building structures and parts of the existing streetscape need to be preserved.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Not applicable.</p>

### 7.6.26. Single storey freestanding residential building\_Stand 1012

Address	22 Surbiton Avenue
Stand no.	1012
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
SAHRA grading	3C
<b>Site description</b> Single storey freestanding residence with corrugated iron roof and one-sided semi-Dutch gable along the northern and western elevations. The gables form part of the historical streetscape along Surbiton Avenue.	

### Locality map

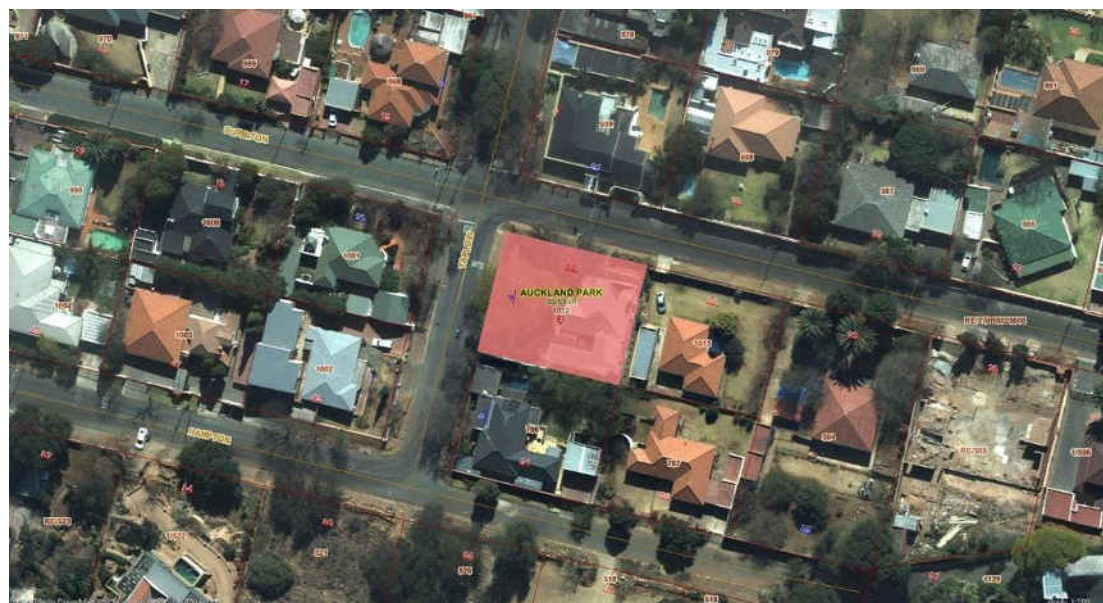


Fig. 147 Stand 1012 is located along the south-eastern corner of Surbiton Avenue and Taplow Road  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Images

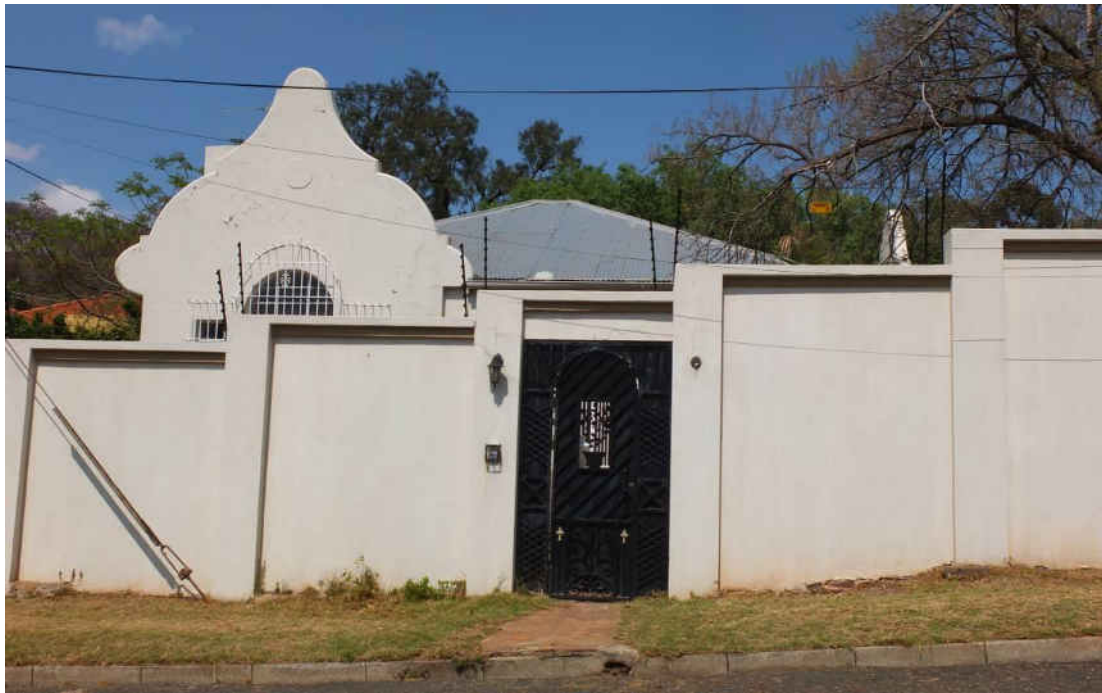


Fig. 148 Single storey residence with corrugated iron roof forms part of historical streetscape along Surbiton Avenue  
(Source: tsica heritage consultants, 2015)



Fig. 149 North elevation with semi-Dutch gable and corner stoep  
(Source: tsica heritage consultants, 2015)



## Impact of proposed development plan on heritage

<p><b>Densities</b> No densities proposed for this area within Auckland Park</p>	<p><b>Recommendations</b> Typical single storey residence with one sided Cape Dutch gable from around 1920s forms part of the existing historical streetscape along the southern side of Surbiton Avenue but can be altered or demolished after detailed documentation.</p>
<p><b>Transport</b> Site falls out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls out of mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Not applicable.</p>

## 7.7. Identified sites of significance\_Residential Buildings (Multi storey, semi-detached, freestanding) within Rossmore

### Locality Map for Rossmore\_Chiselhurst Avenue

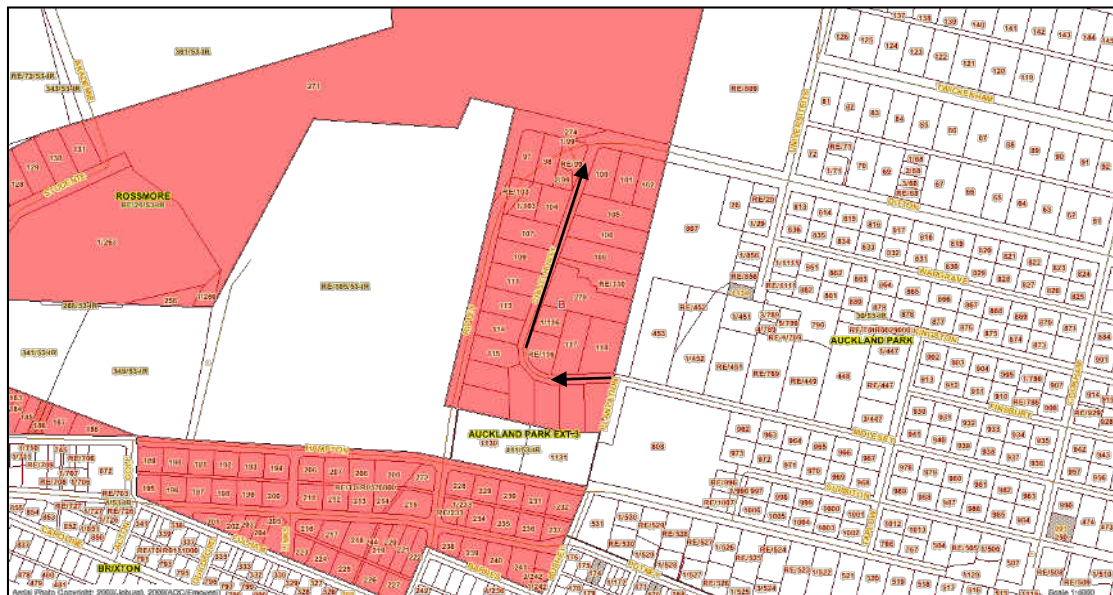


Fig. 150 Chiselhurst Avenue is the extension of Molesey Avenue in western direction making a turn in northern direction towards University of Johannesburg Kingsway Campus (Source: City Council of Johannesburg, GIS map)

### Introduction

Residential buildings are buildings that are generally used or zoned for residential purposes. It must be noted that the majority of residences are over 60 years and it was therefore imperative for a detailed visual study to be done and the most significant buildings highlighted. Their significance could be as a result of them being associated with prominent figures, special events, design patterns of a certain period in history, rarity, or part of an important architectural school. Most of the sites identified in this category are of importance in their local context and are representative of the historical and cultural patterns that could be discerned from the built environment. All of the identified sites were given a 3A category (explained below).

### Grading

3A\_Residential buildings that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities or that are historical landmarks (should be conserved and enhanced)

3B\_Residential buildings of marginally lesser significance, for example, where there have been alterations made but the site still meets the other criteria of 3A sites (sensitive alteration and additions to the interior allowed on approval)

3C\_Residential buildings where the significance is in large part based on setting and contextual relationships in so far as these contribute to the character

or significance of the surrounding environs including landscapes, streetscapes, townscapes or areas (possibility of sensitive alteration and addition to the exterior).

**Summary table of identified sites in the residential category**

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
118	Single storey freestanding residential building along Chiselhurst Avenue	3A	Conservation highly recommended
279	Double storey freestanding residential building along Chiselhurst Avenue	3A	Conservation highly recommended
108	Double storey freestanding residential building along Chiselhurst Avenue	3A	Conservation highly recommended
100	Single storey freestanding residential building along Chiselhurst Avenue	3A	Conservation highly recommended
104	Single storey freestanding residential building along Chiselhurst Avenue	3A	Conservation highly recommended

### 7.7.1. Single storey freestanding residential building\_Chiselhurst Avenue\_Stand 118

Address	2 Chiselhurst Avenue
Stand no.	118
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Double storey freestanding residence with high-pitched slate-tiled roof and centrally- located semi-Dutch gable along the north elevation. The gable forms part of the historical streetscape along the northern side of Molesey Avenue becoming Chiselhurst Avenue in the western direction. Residence was altered and added on to over the years.	

#### Locality map



Fig. 151 Stand 118 is located along the northern side of Chiselhurst Avenue in Rossmore (Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced!**

## Identifying Images



Fig. 152 Double storey residence with slate tiled roof along the northern side of Chiselhurst Avenue  
(Source: tsica heritage consultants, 2015)

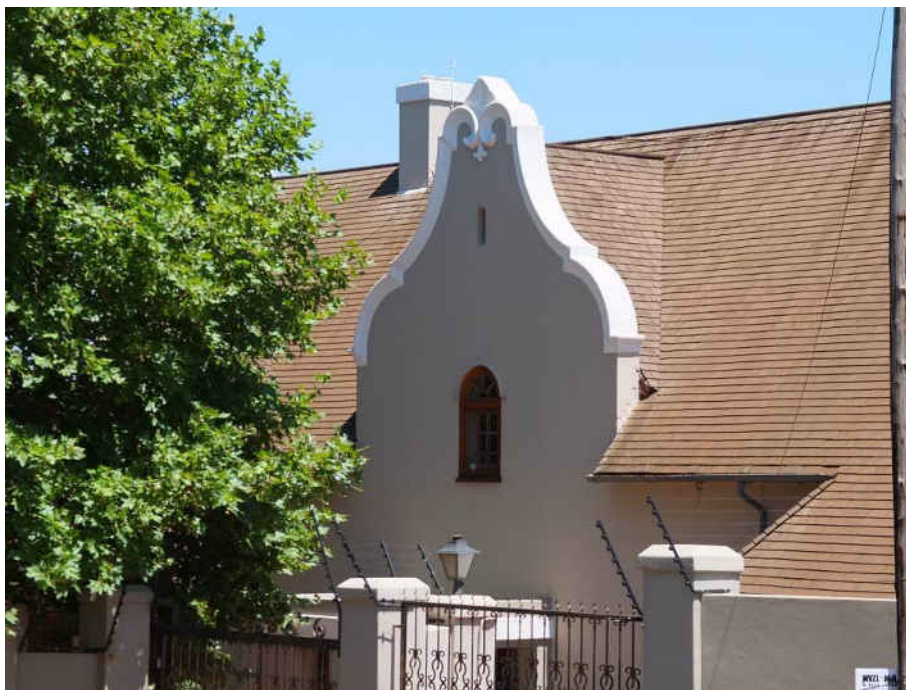


Fig. 153 Centrally-located semi-Dutch gable as part of the historical streetscape along Chiselhurst Avenue  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1920s forms part of unique streetscape along the northern side Chiselhurst Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitively towards existing built environment.</p>
<p><b>Transport</b> Sites fall out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls outside mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans in close proximity.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Good example of well-preserved single storey residential building with high pitched roofing and Cape Dutch Gable from around 1920s typical to Rossmore
Weakness	Some alterations and additions done to original design
Risk/ Threat	The site is located in an area of low to medium density development and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Chiselhurst Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout in close proximity to University of Johannesburg, Kingsway Campus

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### **Future development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



### 7.7.2. Double storey freestanding residential building\_Chiselhurst Avenue\_Stand 279

Address	10 Chiselhurst Avenue
Stand no.	279
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Double storey freestanding residence with tiled roof. The buildings along the eastern side of Chiselhurst Avenue are not well visible because of high walls.	

#### Locality map



Fig. 154 Stand 279 is located along the eastern side of Chiselhurst Avenue in Rossmore (Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced! (Research in progress)**

## Identifying Image



Fig. 155 \_10 Chiselhurst Avenue, double storey residence is difficult to identify and further research is in progress  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1920s forms part of unique streetscape along the eastern side of Chiselhurst Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Sites fall out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>

<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls outside mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans in close proximity.</p>

### **Conservation Management Policies\_ Grade 3A\_Residential sites**

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risk or threat to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

### **Swot analysis**

<b>Analysis</b>	<b>Result</b>
Strength	Good example of well-preserved single storey residential building with high pitched roof and Cape Dutch Gable from around the 1920s typical to Rossmore
Weakness	High boundary walls encloses site from street side
Risk/ Threat	The site is located in an area of low to medium density development and it may change the character of the site if new buildings are erected in close proximity

Strength/Opportunity	All historically significant sites along Chiselhurst Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout in close proximity to University of Johannesburg, Kingsway Campus
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## **Conservation Management Policies\_Residential sites**

### **Views/Vistas**

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### **Fabric and setting**

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### **Management**

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### **Future development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 7.7.3. Double storey freestanding residential building\_Chiselhurst Avenue\_Stand 108

Address	14 Chiselhurst Avenue
Stand no.	108
Current zoning	Residential 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Double storey freestanding residence with tiled roof. The buildings along the eastern side of Chiselhurst Avenue are not well visible because of high walls. Further research on the street is in progress.	

#### Locality map



Fig. 156 Stand 108 is located along the eastern side of Chiselhurst Avenue in Rossmore (Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced! (Research in progress)**

## Identifying Image



Fig. 157 \_14 Chiselhurst Avenue, double storey residence is difficult to identify and further research is in progress  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1920s forms part of unique streetscape along the eastern side Chiselhurst Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Sites fall out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>

<b>Mixed-use development</b> Site falls outside mixed-use development along Empire-Perth Roads and Henley Road	<b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans in close proximity.
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## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

### Swot analysis

Analysis	Result
Strength	Good example of well-preserved single storey residential building from around the 1920s and typical to Rossmore
Weakness	High boundary walls encloses site from street side
Risk/ Threat	The site is located in an area of low to medium density development and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Chiselhurst Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout in close proximity to University of Johannesburg, Kingsway Campus

## **Conservation Management Policies\_Residential sites**

### **Views/Vistas**

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### **Fabric and setting**

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### **Management**

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### **Future development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development



#### 7.7.4. Single storey freestanding residential building\_Chiselhurst Avenue\_Stand 100

Address	20 Chiselhurst Avenue
Stand no.	100
Current Zoning	Residential 1
Year of erection	1920s (Research in progress)
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Single storey original residence now used as University of Johannesburg offices. The building has double semi-Dutch gables on both sides and a tiled roof. It is still in a very good condition and forms part of the historical streetscape of Chiselhurst Avenue.	

#### Locality map



Fig. 158 Stand 100 is located along the eastern side of Chiselhurst Avenue on the corner of Ditton Avenue and Chiselhurst Avenue in Rossmore  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced! (Research in progress)**

## Identifying Images



Fig. 159\_20 Chiselhurst Avenue, single storey former residence now used as offices for the University of Johannesburg  
(Source: tsica heritage consultants, 2015)



Fig. 160 Double semi-dutch gables on both sides with centrally located front stoep  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Single storey residence from 1920s forms part of unique streetscape along the eastern side Chiselhurst Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Sites fall out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site falls outside mixed-use development along Empire-Perth Roads and Henley Road</p>	<p><b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans in close proximity.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain types of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot analysis

Analysis	Result
Strength	Good example of well-preserved single storey residential building with two Cape Dutch Gables from around the 1920s typical to Rossmore
Weakness	N/A
Risk/ Threat	The site is located in an area of low to medium density development and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Chiselhurst Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout in close proximity to University of Johannesburg, Kingsway Campus

## Conservation Management Policies\_ Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 7.7.5. Single storey freestanding residential building\_Chiselhurst Avenue\_Stand 104

Address	21 Chiselhurst Avenue
Stand no.	104
Current zoning	Residential 1
Year of erection	1920s (Research in progress)
Architect	Unknown
Heritage significance	Architectural
Statement of significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<b>Site description</b> Single storey tiled roof original residence now used as University of Johannesburg offices. The building has natural stone cladding and a rounded off bay window on the corner and forms part of the historical streetscape of Chiselhurst Avenue.	

#### Locality map



Fig. 161 Stand 104 is located along the western side of Chiselhurst Avenue on the corner of Ripley Road and Chiselhurst Avenue in Rossmore  
(Source: City Council of Johannesburg, GIS map)

**No original plans could be sourced! (Research in progress)**

## Identifying Image



Fig. 162\_ 21 Chiselhurst Avenue, single storey former residence now used as offices for the University of Johannesburg  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Low to Medium densities (60-100dph) new buildings suggested maximum scale is 2-4 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Single storey natural stone residence from the 1920s forms part of the unique streetscape along the western side Chiselhurst Avenue and it is therefore recommended that the building structure and parts of the existing streetscape need to be preserved and all proposed new development needs to be done sensitive towards existing built environment.</p>
<p><b>Transport</b> Sites fall out of existing main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social cluster development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>

<b>Mixed-use development</b> Site falls outside mixed-use development along Empire-Perth Roads and Henley Road	<b>Recommendations</b> Site is surrounded by single storey residences and it is therefore recommended not to overpower existing built environment with future development plans in close proximity.
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## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis, it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. In cases where development is earmarked for an area, certain type of buildings can begin to disappear from a suburb. The purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

### Swot analysis

Analysis	Result
Strength	Good example of well-preserved single storey natural stone residential building from around 1920s typical to Rossmore
Weakness	High boundary walls encloses site from street side
Risk/ Threat	The site is located in an area of low to medium density development and it may change the character of the site if new buildings are erected in close proximity
Strength/Opportunity	All historically significant sites along Chiselhurst Avenue will form part of a unique historical streetscape and in combination with proposed new development plans will be part of a diverse urban layout in close proximity to University of Johannesburg, Kingsway Campus



## **Conservation Management Policies\_Residential sites**

### **Views/Vistas**

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### **Fabric and setting**

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### **Management**

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### **Future development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 7.8. Identified sites of significance Structures\_Auckland Park

### Introduction

Streetscape contain urban infrastructure including structures. These may include bus shelters, street furniture, stairs, rails, culverts, bridges, embankments, poles and more. A visual street by street survey was done and all of the structures in the area mapped. Those of significance were singled out either because of their historical and architectural significance or because of the social standing they may have in the community. All the sites in this category were graded with 3A grading explained below.

### Grading

3A\_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities or that are historical landmarks (should be conserved and enhanced)

3B\_ Buildings of marginally lesser significance, for example, where there have been alterations made but the site still meets the other criteria of 3A sites (sensitive alteration and additions to the interior allowed on approval)

3C\_Buildings and or sites where the significance is in large part based on setting and contextual relationships in so far as these contribute to the character or significance of the surrounding environs including landscapes, streetscapes, townscapes or areas (possibility of sensitive alteration and addition to the exterior)

### Summary table of identified sites in the religious category

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
RE/301/53- IR	Sentech Tower (former Hertzog Tower) designed by Ove Arup & Partners in 1961/2	3A	Conservation highly recommended
RE/10/53- IR	Auckland Park stone stairs	3A	Conservation highly recommended

### 7.8.3. Sentech Tower (former Hertzog Tower)\_Stand RE/301/53-IR

Address	Symons Road
Stand no.	RE/301/53-IR
Current zoning	Special
Year of erection	1961 – 1962
Architect	Ove Arup and Partners
Heritage significance	Architectural/ Technological
Statement significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	2
<p><b>Site description</b></p> <p>The tower was designed by Ove Arup and Partners and built by Christiani and Nielsen SA and was for a time the tallest manmade structure in Africa. It is a landmark structure in Johannesburg and was provisionally declared a grade 2 heritage site in 2014 (provisional declaration assumed to have lapsed or final nomination unsuccessful).</p>	

#### Locality map



Fig. 163 Sentech tower along the eastern side of Symons Road  
(Source: City Council of Johannesburg, GIS Map)

## No original plans could be sourced



Fig. 164 Sentech tower under construction with Jan Hofmeyr in the background  
(Source: City Council of Johannesburg, GIS Map)

## Identifying Image



Fig. 165 Reinforced concrete Sentech tower with viewing platform and broadcast tower  
(Source: Museum Africa and tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<b>Densities</b> No immediate impacts as per proposed development plans	<b>Recommendations</b> Tower recommended for conservation.
<b>Transport</b> Site falls out of main BRT route transit spine	<b>Recommendations</b> Not applicable.
<b>Social cluster development</b> Area is not identified as social cluster	<b>Recommendations</b> Not applicable.
<b>Mixed-use development</b> Site within a mixed use development zone	<b>Recommendations</b> Not applicable.

## Conservation Management Policies\_Grade 3A\_Structures

Conservation management plans (CMPs) help to guide the management and running of heritage sites and scenarios, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A structures are often vulnerable due to public use and vulnerability to car accidents, theft, vandalism etc. It is imperative that any changes made to these structures be in accordance with conservation principles.

## Swot analysis

Analysis	Result
Strength	Structure appears to be in an excellent condition Landmark structure in Johannesburg
Weakness	Not publicly accessible due to security status

Risk/ Threat	Not applicable Future use uncertain given switch from analogue to digital and other changing technologies
Strength/Opportunity	Redevelopment for recreational purposes and reinstatement of viewing deck

## **Conservation Management Policies\_Structures**

### **Views/Vistas**

- Retain views of the tower

### **Fabric and setting**

- If additions are to be made, then contrasting modern materials to be used according to conservation principles

### **Management**

- Establish a team of heritage/conservation professionals to oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### **Future development**

- Adaptively re-use the structure in a manner that will not diminish – and will ideally enhance – its historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36

#### 7.8.4. Auckland Park stairs\_Auckland Park\_Stand RE/10/53-IR

Address	From Beverley Road in Brixton to Molesey Avenue in Auckland Park
Stand no.	RE/10/53-IR
Current zoning	Public Open Space
Year of erection	c. 1933
Architect	City Engineering Department
Heritage significance	Architectural
Statement significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
SAHRA grading	3A
<p><b>Site description</b></p> <p>A number of stone staircases were built connecting Auckland Park and Brixton. These staircases connect Symons Road with Henley Service Road further down in Auckland Park. The stonework is of heritage value and was constructed at the same time as similar staircases and stonewalling elsewhere in the city.</p>	

#### Locality map

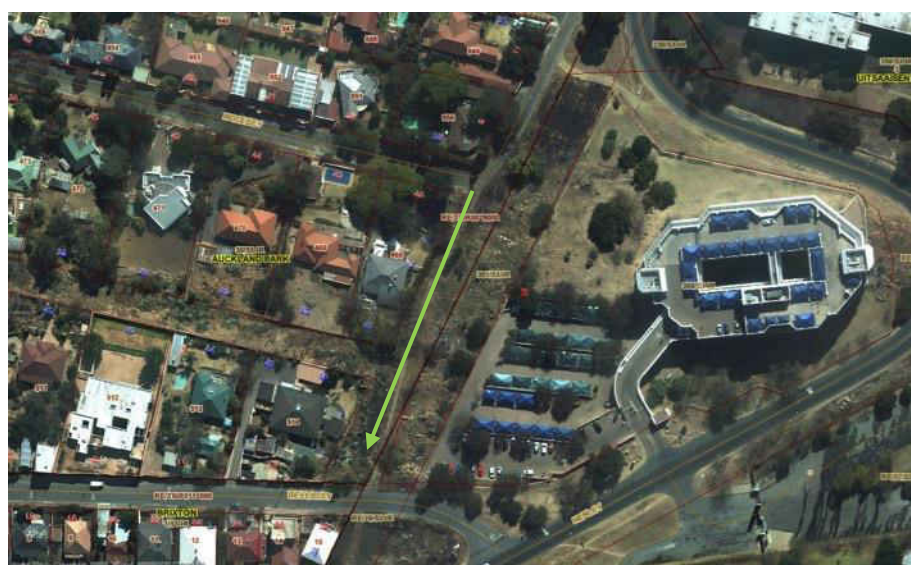


Fig. 166 Stone stair case between Beverley and Molesey  
Source: City Council of Johannesburg, GIS Map)

## Identifying Images

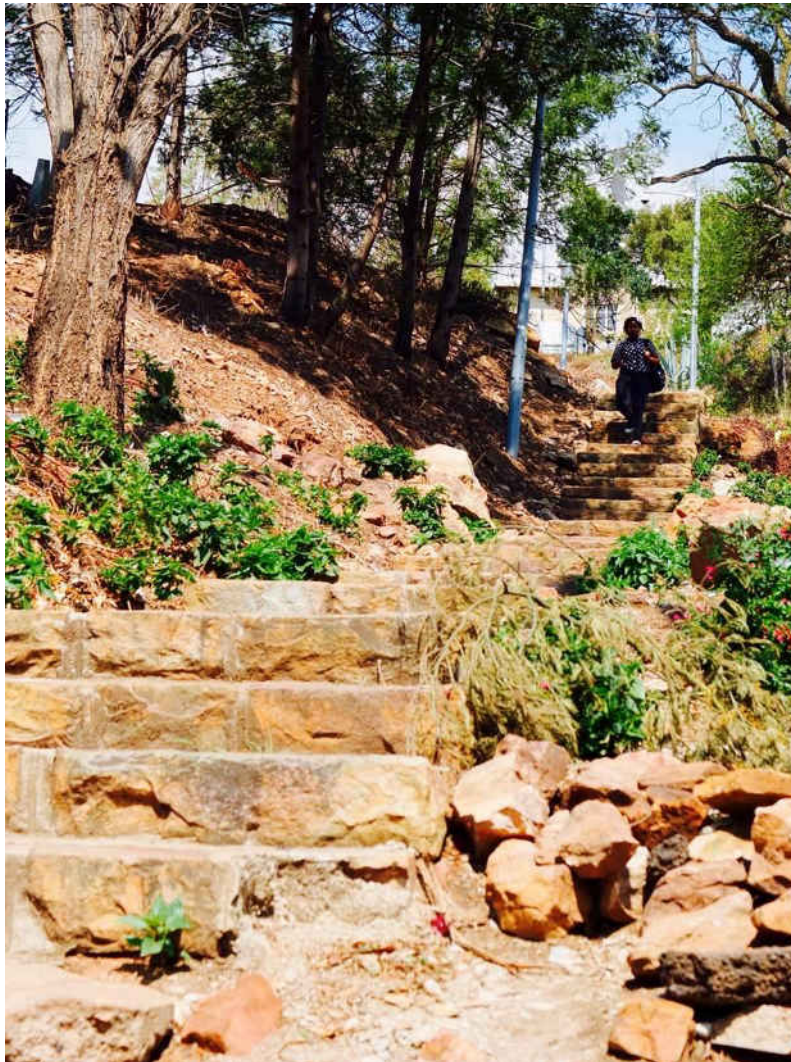


Fig. 167 Stone stair case between Beverley and Molesey in Auckland Park  
(Source: tsica heritage consultants, 2015)

## Impact of proposed development plan on heritage

<b>Densities</b>	<b>Recommendations</b>
Contextual – potential impact arising from upgrading of NMT connectors	Staircase recommended for conservation and rehabilitation.



<p><b>Transport</b> Site falls out of main BRT route transit spine</p>	<p><b>Recommendations</b> Forms part of NMT infrastructure.</p>
<p><b>Social cluster development</b> Area is not identified as social cluster</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use development</b> Site within a mixed use development zone</p>	<p><b>Recommendations</b> Not applicable.</p>

## 8. Concluding Remarks

The HIA and the CMP study was undertaken to fulfil the regulatory procedures that are contained in the NHRA 25 of 1999 in view of the strategic area framework. The report also serves the purpose of documenting the most culturally and significant sites found in the five HIA precincts and identifying historical clusters where such significant sites are clustered in one area. It is recognised that all the findings are based on the archival research and visual surveys that were done in these areas, the report will remain open ended until the conclusion of a public participation period in which all stakeholders interested and affected parties are welcome to contribute, comment to the report.

It is important to regard and read this report as working document for both the client, Johannesburg Development Agency and the public. Many of the sites that are included in this report are representative sites as most suburbs have buildings that are older than 60 years which may to a certain extent have inherent cultural, social, architectural or historical significance. Because of the nature of the study it was not possible to include all 60-year-old sites in the report so a criterion was developed to choose the most representative, rare, unique and culturally significant sites which were given a 3A grading. These sites become visible as locally important heritage sites in their respective areas. They were then assessed individually and conservation management guidelines allotted to each of them.

Moving forward, the public participation procedure will consist of several public meetings to be held in each of HIA areas where the public will be presented with the combined HIA, CMP reports and asked for comment on the comment forms. The report will be available in the public libraries for each of the areas for 30 days after which, the period for submitting comments will be complete. All comments will then be addressed and compiled into a public participation report which will be part of the final HIA report. The final HIA report will be submitted to the PHRA\_G for consideration and approval.

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### **Images, Maps and Plans**

- City of Johannesburg, GIS Department for all locality maps.
- City of Johannesburg, Plans Department for all original plans.
- Current photographs: tsica heritage consultants, 2015.
- Google maps.