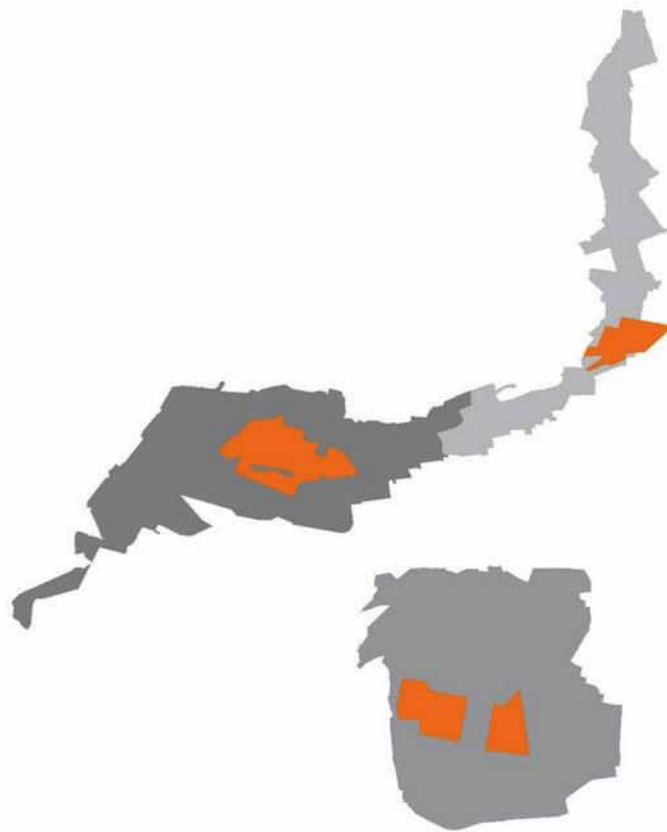


Brixton Precinct

Heritage Impact Assessment & Conservation Management Plan

Report Phase 3



Empire-Perth Development Corridor



a world class African city



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Glossary of terms

Biodiversity area	An area defined as such by the City of Johannesburg
Conservation	As defined in the National Heritage Resources Act (NHRA) means the protection, maintenance, preservation and sustainable use of places or objects so as to safeguard their cultural significance
Conservation area	Heritage areas officially designated as such by the Heritage Resources Authority in consultation with the City of Johannesburg
Conservation Management Plan	A policy aimed at the management of a heritage resource and that is approved by the Heritage Resources Authority setting out the manner in which the conservation of a site, place or object will be achieved
Corridors of Freedom	Spatially defined development areas designated as such by the City of Johannesburg and described in the applicable Strategic Area Frameworks as approved by Council in 2014
Cultural significance	As defined in the NHRA, means aesthetic, architectural, historic, scientific, social, spiritual, linguistic or technological value or significance
Development	<p>Development within the context of the Heritage Resources Authority means any physical intervention, excavation, or action, other than those caused by natural forces, which may, in the opinion of a heritage authority, in any way result in a change to the nature, appearance or physical nature of a place, or influence its stability and future well-being, including—</p> <ul style="list-style-type: none"> (a) Construction, alteration, demolition, removal or change of use of a place or a structure at a place (b) Carrying out any works on or over or under a place (c) Subdivision or consolidation of land comprising a place, including the structures or airspace of a place (d) Constructing or putting up for display signs or hoardings (e) Any change to the natural or existing condition or topography of land (f) Any removal or destruction of trees, or removal of vegetation or topsoil

Grade	Heritage grade as defined in the NHRA and used by the applicable heritage resources authority to identify and manage heritage resources under its care
Grading	The act or process of Grading heritage resources by a heritage resources authority
“Heritage Act” or the “National Heritage Resources Act”	As Gazetted on 28 April 1999, the National Heritage Resources Act, no. 25 of 1999 (Republic of South Africa)
Heritage area	Areas officially designated as such by the Heritage Resources Authority in consultation with the City of Johannesburg
Heritage register	As defined in the NHRA, means a list of heritage resources in a province
Heritage inventory	An inventory compiled by a local authority of the heritage resources that fall within its area of jurisdiction and is submitted to the relevant provincial heritage resources authority
Heritage Impact Assessment	A report compiled in response to a proposed development that must meet the minimum requirements set out in the NHRA and is submitted to a heritage resources authority for consideration
Heritage resources authority	As defined in the NHRA, means the South African Heritage Resources Agency (SAHRA) or in respect of Gauteng, the Provincial Heritage Resources Authority Gauteng
Heritage site	As defined in the NHRA, means a place declared to be a national heritage site by SAHRA or a place declared to be a provincial heritage site by a provincial heritage resources authority
Heritage site management	Heritage site management is the control of the elements that make up physical and social environment of a site, its physical condition, land use, human visitors, interpretation, etc.
Historic clusters	Areas where heritage resources are concentrated in the study area
Interested and affected parties	Individuals, organisations or communities that will either be affected and/or have an interest in a development or the resulting impacts of a development
Landscape	All the visible features, as well as cultural associations of an area of land, often considered in terms of their aesthetic appeal or intangible cultural elements

Local authority	Means the City of Johannesburg Metropolitan Municipality or, 'City of Johannesburg', for short
Management	As defined in the NHRA, includes the conservation, presentation and improvement of a place protected in terms of the Act (see also Heritage Site Management)
National Monument	As defined in the repealed National Monuments Act
Permit	A permit issued by the relevant Heritage Resources Authority approving a development proposal and setting out development constraints or requirements that must be met by the applicant
Recommended Grading	Field survey rating proposed by tsica heritage consultants
Ridge	An area defined as such by the relevant provincial or local authorities
Streetscape	The visual elements of a street found within urban contexts, including the road, adjoining buildings, structures, sidewalks, street furniture, trees and open spaces, etc.
Treeline	A row of trees such as may be planted along public roads

Abbreviations

CMP	Conservation Management Plan
COF	Corridors of Freedom
COJ	City of Johannesburg
GIS	Geographic Information System
HIA	Heritage Impact Assessment
JDA	Johannesburg Development Agency
JPC	Johannesburg Property Company
NHRA	National Heritage Resources Act [No. 25 of 1999]

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Part 1_Executive Summary

1. Context_The Corridors of Freedom

In 2014 the City of Johannesburg (COJ) adopted new spatial plans (contained in so-called Strategic Area Frameworks (SAFs)) that seek to alter the shape of Johannesburg. The aims of the SAFs are to: transform existing spatial patterns; encourage greater access and mobility for pedestrians, cyclists and users of motorised public transport; and importantly, encourage new – and revive existing – mixed-use nodes that will lead to more efficient land use. Greater densities will lead to higher usage of social facilities, including public open space. As a result these amenities will also be upgraded to cope with increased projected demand.

The “Corridors of Freedom” (COF) (as the strategic areas are called) are designed with the following key features in mind:

- Safe neighbourhoods designed for cycling and walking, with sufficient facilities and attractive street conditions
- Safe complete streets with features to calm traffic, control vehicle speeds and discourage private transport use
- Mixed-use developments where residential areas, office parks, shops, schools and other public services are close together, stimulating economic activity and creating opportunities for emerging entrepreneurs
- Rich and poor, black and white, living side by side - housing options provided cover a range of types, including rental accommodation, and prices
- Limited managed parking to reduce the amount of land devoted to parking and further discourage the use of private transport
- Convenient transit stops and stations

According to the COJ, the advantages of the Corridors are:

- The City will focus productive land use and economic activities in areas where transport infrastructure, namely rail and road, are already present or being planned
- The demand for private motorised transport will be reduced and the average trip length will be shortened
- Public transport will become a viable alternative because residents will live in closer proximity to work, shopping and leisure opportunities
- High-density housing will stimulate opportunities for the SMME sector and small-scale operators in the informal economy

- The environmental impact of public transport in high-density areas will be significantly smaller than in the case of low-density urban sprawl reliant on private cars
- Residents will benefit because they will not have to spend so much time and money on transport
- Learners will benefit because they will be closer to schools
- Unemployed people will benefit because it will be easier to get to places to look for work
- Factories will benefit because workers will come to work on time
- Shopping centres and hawkers will benefit along the corridors and nodes due to increased numbers of people passing their shops
- Our environment (and our lungs) will benefit with less private car use and the associated dangerous carbon emissions
- Construction and other related industries will benefit because of the job opportunities throughout the lifetime of the project

At present the designated COF are:

- The **Louis Botha Development Corridor** which will link the CBD to Alexandra
- The **Empire-Perth Development Corridor** which will link the CBD to the mining belt and Soweto
- The **Turffontein Development Corridor** which will link the CBD to the mining belt and southern suburbs

The SAFs that have been adopted for the corridors provide:

- The desired spatial response to the intent of the COF vision by providing development guidelines and parameters such as housing typologies, development controls, densities and land use mix
- The projects and programmes required to realise this spatial vision

In short, the SAFs:

- Provide spatial context for future development
- Guide investment decisions
- Identify requirements and opportunities for transformation

Arising from the SAFs, the Johannesburg Development Agency (JDA) has appointed tsica heritage consultants to conduct heritage impact assessments of five precincts falling within the corridors. The precincts are:

- Orange Grove Precinct

- Knowledge Precinct
- **Brixton Precinct**
- Turffontein Precinct
- Rosettenville Precinct

The heritage impact assessments (HIA) are undertaken to ensure that the City complies with the National Heritage Resources Act (NHRA), number 25 of 1999, in implementing the SAF and the projects described therein.

It is imperative that the HIA described in this report is read in conjunction with the SAF for the Empire-Perth Development Corridor.

2. Purpose and outline of this report

2.1 Introduction

The comprehensive Heritage Study (contained in a separate report) forms an important aspect in identifying, documenting and assessing heritage resources within the three COFs. This is in accordance with the requirements of the NHRA, number 25 of 1999 and the ICOMOS Charter for Places of Cultural Significance (known as the Burra Charter) of which South Africa is a signatory to. The second phase of the project consists of an HIA which forms a more intensive study of areas that were identified by the JDA as areas requiring statutory approvals for identified projects as contained in each of the COF SAFs (approved by City Council in 2014).

The study areas are Brixton, the Knowledge Precinct (both falling within the Empire-Perth Corridor), Orange Grove (Louis Botha Avenue Corridor), and Turffontein and Rosettenville (Turffontein Corridor). The intensive Phase 2 study culminates in a draft HIA report (contained in Part 2 of this document) to be submitted for comments to the public – and in final format to the Provincial Heritage Resources Authority Gauteng (PHRA_G) for final approval. The aim of this executive summary is to summarise and outline the aspects that have been covered by the HIA reports in the five identified areas.

2.2 Client brief - Purpose of the report

The purpose of the report or client brief as we have understood it, is to produce HIA reports for submission to PHRA_G for each of the five study areas to be impacted by developments as described in the COF SAFs. On submission, the PHRA_G will review the impact studies, recommendations contained therein, and in accordance with the NHRA decide whether the HIA should be approved or not. The Phase 2 reports will, in summary, contain the following information:

- Heritage resources that fall within the HIA areas
- Locality maps showing the location and clustering of heritage resources
- Detailed maps showing the location and clustering of heritage resources
- Photo documentation of existing streetscapes, structures and buildings in the areas
- Short history of the areas
- Assessments of the significance of such heritage resources
- Provisional Grading of affected sites in terms of cultural significance, conservation value and protection status
- Recommendations for conservation of heritage sites and structures

2.3 Methodology and approach

The first phase of the project entailed a survey of the different suburbs falling within the three corridors. A more detailed scoping of the HIA areas was then conducted in the form of a multiple street-by-street visual survey supplemented by desktop research. Research material for each suburb was divided into six different categories in order to easily process and analyse the information gathered. The categories are main streetscapes, commercial buildings, institutions (e.g. schools, recreational centres, libraries, sport facilities etc.), religious buildings (churches, synagogues, temples etc.), residential buildings, structures, and parks.

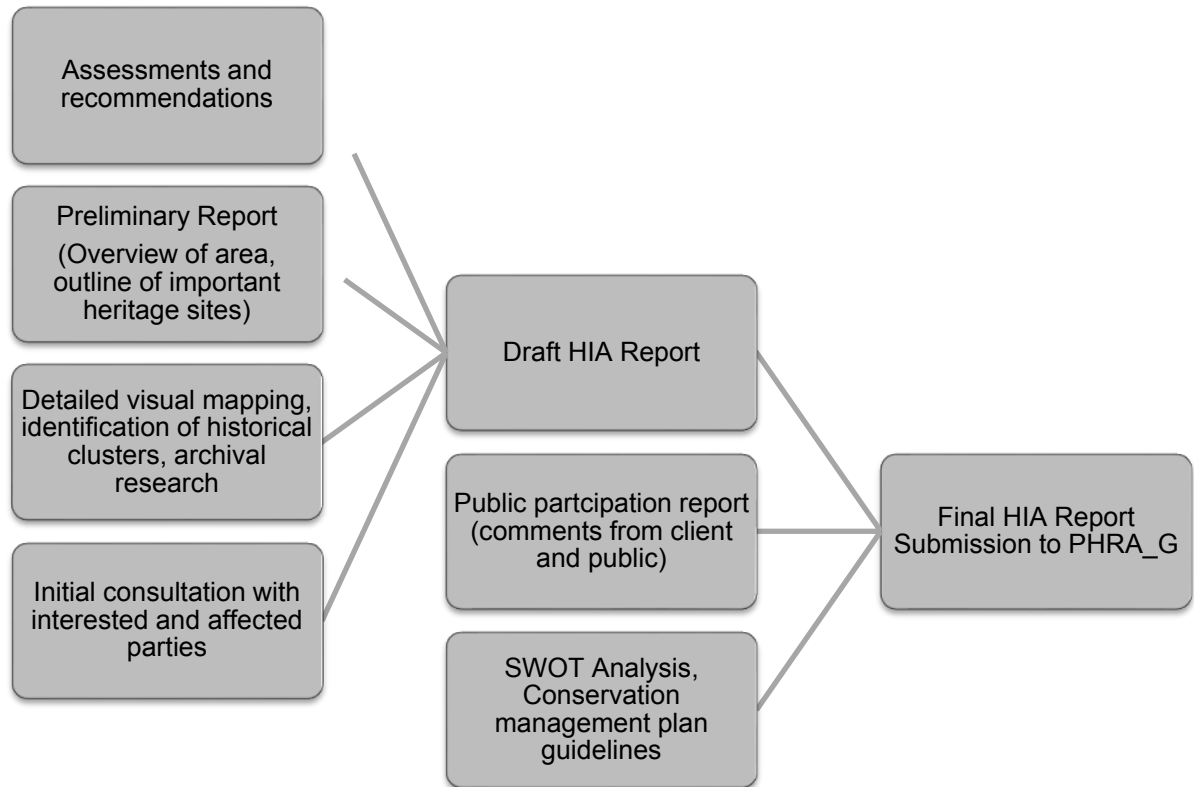
For each of the above categories, a data form was created for each site with the name of the building, street address, erven, statement of significance, site description and field rating (corresponding to the NHRA three-tier Grading system). A GIS map was then created to locate the site and contextualise it within the surrounding environment. An original plan from the City's plans archive were photographed where building plan could be sourced. A current photo completes the photo-documentation of each site. A summary of the proposed development was stated and an impact assessment with recommendations was completed for each site. In all five HIAs there was an attempt to identify areas where heritage resources were clustered. These areas were identified as historic clusters with a view towards identifying areas of character where development would have to be avoided, limited or carefully managed so as to not interfere with the fabric or the character of the cluster. Finally, a series of digitised maps were then created to depict, in layers, buildings over 60 years, important streetscapes, historic clusters, proposed development/s, open spaces, and the BRT main routes and stations. A consolidated master map clearly shows the impact of the proposed developments on the heritage of the area investigated.

An HIA of the natural cultural spaces in the green areas concludes the HIA report. This broadly focuses on specific parks, the flora, fauna, geology, memorials and buildings found in these parks, as well the development that has already taken place (within the context of the COF) or is intended for these parks. An assessment and recommendation follows for future development and the different approval processes underway in each of the areas.

Interested and affected parties in all three Corridors, including interest groups, residents' associations, conservation bodies and others, were contacted and notified about the heritage study. Public participation workshops were held, where residents, interest groups, professionals and others from the area were invited to identify historic clusters, as well as to make comments and recommendations on the various developments in the HIA areas. An annexure

is attached containing a summary of stakeholder engagement conducted to date.

HIA process summarised



NB: Initial meetings were held with various residents' associations in the different HIA suburbs to introduce the study and to gather and consolidate data from heritage studies that have been conducted in the past.

2.4 Limitations

Some plans could not be sourced at the Plans Archive of the COJ and in such cases the building style and materials used form the basis for estimating the likely date of construction.

2.5 Legal framework

Tsica – Heritage Consultants will be operating to fulfil a legal requirement in which, according to the NHRA, number 25 of 1999 section 38, it is stated that any person who intends to undertake a development or any other activity that will change the character of a site

- exceeding 5000m² in extent
- or involving three or more erven or divisions

must furnish the responsible heritage authority, in this case the Provincial Heritage Resources Authority Gauteng (PHRA_G), with details regarding the location, nature and extent of the proposed development, historic and architectural reports, impact assessments and conservation management plans.

Important: The assessment of the impacts of the proposed development are strictly limited to the developments contemplated in the official SAFs of the COJ that have been adopted by Council for the three COFs in 2014. Any developments contemplated outside of the SAF are therefore not covered by this HIA report.

2.6 Grading system and legal Implications¹

Grading forms an important part of the process to identify heritage resources and is the first step towards the formal protection of a site. The Grading used in this report is according to the NHRA, number 25 of 1999 which recognises three levels of Grading, namely: sites of national importance that can be declared as National Heritage Sites (Grade 1); sites of provincial importance that can be declared as Provincial Heritage Sites (Grade 2); and sites of local importance that can be declared as Local Heritage Sites (Grade 3). In all five HIA reports, an inventory of sites of heritage significance was made and recommended for declaration as sites of local significance (Grade 3 sites) based on a field rating. Section 30 (6) and 30 (5) of the NHRA allows local authorities and anyone else to compile an inventory and recommend Grade 3 sites. In line with standard practice followed elsewhere in the country, the Grade 3 sites are further divided into three levels as follows:

Grade 3A

- Sites that have a highly significant association with a historic person, social grouping, historic events, public memories
- Historic and visual landmarks
- High architectural quality
- Fabric dating to the early origins of a place, a historic period, or excellent example of their kind, rare or unique

Such buildings and or structures must receive maximum protection at a local level, which would mean that these are listed on the Provincial Heritage Register as Grade 3 sites. None of them shall be demolished, altered, or

¹ Large parts of the Grading Section have been extracted as whole, paraphrased and summarised from a Short Guide to and Policy Statement on Grading Heritage Western Cape that intended the document to be used to assist local authorities and conservation bodies engaged in drawing up inventories in order to satisfy Section 30 (5) of the Act.

extended or any new building or structure be erected on the property without the Municipality's special consent. The Municipality shall not grant its special consent if such proposed demolition or alteration shall be detrimental to the character and or significance of the heritage building or structure.

Grade 3B

- Buildings of marginally lesser significance
- They may have similarities to Grade 1 sites being representative, rare, good examples of their kind

Such buildings and or structures to be listed on the Provincial Heritage Register and no Grade 3B building or structure, other than an internal wall, surface or component, may be demolished altered or extended, or any new building or structure be erected on the property without the Municipality's special consent. The Municipality shall not grant its special consent if such proposed demolition or alteration shall be detrimental to the character and or significance of the heritage building or structure.

Grade 3C

- Buildings and or sites whose significance is in large part significant and that contributes to the character or significance of the environs

Buildings and structures from this category only to be protected and regulated if the significance of the environs is sufficient to warrant protective measures. In other words, these buildings and or sites will only be protected if they are within declared conservation areas or historic clusters.

Steps to take in order to formalise Grading and declaration of Grade 3 sites

1. Compile an inventory of all heritage sites worthy of Grade 3 Grading
2. Submit the inventory list to PHRA_G
3. The authority must then consult the owners and gazette the listing according to section 30 (7) and (9)
4. Thereafter within six months of the gazetting, the local authority must provide protection and regulation of listed buildings and sites through provisions in its zoning scheme or a heritage by law

2.7 HIA recommendations

It is recommended that each of the heritage registers accompanying the five HIA reports be formally submitted to PHRA_G for consideration, official approval and incorporation into the provincial heritage inventory. The protection

of these sites should also be formalised through provisions in town planning zoning schemes and precinct plans for individual suburbs (as provided for by the NHRA in Section 54). In addition, where heritage clusters have been identified, it is recommended that these clusters be further researched and where appropriate, recommendations made for formal declaration by the PHRA_G as Conservation or Heritage Areas as provided for in Sections 28 and 31 of the Act.

2.8 SWOT analysis

A SWOT analysis is a structured planning method developed by Albert Humphrey in the 1960s and 1970s to evaluate the **Strengths**, **Weaknesses**, **Opportunities** and **Threats** involved in a project or business venture. A detailed SWOT analysis was conducted to identify the key issues that should be addressed in area conservation management plans. The following aspects were investigated:

- **Strengths:** Characteristics of the site/ historic cluster that give it an advantage (Internal)
- **Weaknesses:** Characteristics of the site/ historic cluster that put it at a disadvantage (Internal)
- **Opportunities:** Elements in the development that could be beneficial to the site/ historic cluster (External)
- **Threats:** Elements in the development that could endanger the site/ historic cluster (External)

General SWOT analysis of the Corridors

Prior to taking a detailed look at the individual buildings, streetscapes and historic clusters within the Corridors, a general SWOT analysis of areas within the Corridors was conducted. The general strengths, weaknesses, opportunities and threats that were generated are described below.

Strengths:

- Authenticity and integrity of the buildings/ historic sites/ historic clusters
- Structural soundness, well-preserved buildings
- Tree lined streetscapes/ landscaped parks
- Cultural, historic, architectural, aesthetic and social significance of the site
- Large open spaces allowing for future development
- Interest in and use of the site by various stakeholders
- Sites with common historic context clustered together
- Good examples of a period, architectural type or school

- Uniqueness of site

Weakness:

- Structural damage to buildings/sites
- Site not in original condition due to additions and alterations where changes have not acquired historic significance of their own
- Site is enclosed by new buildings that detract from the site's cohesion with other historically significant sites
- Site/event/social history potential is under-researched or there is incomplete historic evidence
- Site has not been well maintained and is in a bad state of repair
- Site is not visually accessible from the street and hidden away behind a high wall
- Integrity and character of site is compromised because of its usage
- Site is surrounded by insignificant buildings in an area marked for high density development

Opportunities:

- Reverse insensitive or inappropriate alterations or additions
- Create historic clusters that can form part of historically important sites, heritage routes/tourist routes etc.
- Create awareness of the heritage clusters/sites by highlighting them as part of a heritage inventory of the City
- Sustainable re-use of historically and architecturally significant buildings
- Economic potential due to the site's location and reuse

Threats:

- Loss of the site's integrity and character if insensitive new buildings erected
- Original fabric of old buildings may be destroyed if converted for new uses
- Increased number of people on site may increase pressure on the site and alter the character of the site
- Demolition of building(s)/ site(s) older than 60 years to make way of large scale development

2.9 Conservation management policies

Conservation management plans (CMP) help to guide the management and conservation of heritage sites. CMPs are living documents and are therefore not set in stone but rather serve as guidelines for how heritage could be handled

in different scenarios, particularly if the heritage buildings or sites are earmarked for development. It is strongly recommended that this CMP, particularly its aims, objectives, recommendations and guidelines, be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. The CMP should also be consulted when assessing the impact of future development proposals for the site. This CMP does not exclude an HIA being submitted for future developments and prior to any development plans being approved. The HIA would be submitted to the PHRA_G.

In developing aims and policies of the CMP, aspects related to the heritage significance, conservation and sustainability of the site is considered such as use of the site, fabric and setting, management, etc. For each key issue, an achievable aim is determined, along with a set of policies that would help achieve the aim. These aims and policies will allow all stakeholders to take a proactive approach to the conservation and management of cultural resources in the identified areas. However, it is important to note that a conclusion on conservation policies can only be derived from a structured analysis of the potential advantages and disadvantages of the site in relation to the development. This is done through a SWOT analysis.

2.9.1 Objectives/Aims of the CMP

- Documentation of the site, the individual buildings and the current uses
- Identification of the cultural, historic, architectural and social significance of the site
- List of the strengths, opportunities, weaknesses and threats of the site and the individual buildings
- Guidelines for the future management and development of the site
- Specific recommendations regarding the restoration and preservation of each building/structure/historic cluster

2.9.2 Endorsement of and access to CMP

Aim: To ensure that CMP is endorsed, made publicly accessible, reviewed regularly and revised as necessary.

Policies:

- Undertake consultation with interested and affected parties, professional architects and heritage experts to formulate practical and appropriate guidelines that can be used for future developments for the site
- Ensure that the final CMP is available to the general public and to all interested and affected parties

- Formally adopt and endorse the CMP as the basis for future management of the site and buildings
- Review the CMP when new information is unearthed and when development takes place
- Review the CMP before transfer or long-term leasing occurs to ensure that heritage provisions and maintenance requirements are incorporated into any lease or transfer arrangements

2.9.3 Future development

Aim: To seek a balance between conservation, new uses and new buildings and to ensure the creation of a dynamic, culturally diverse and vibrant site.

Policies:

- Conserve buildings that are Grade 1, 2 and 3A
- Adaptively re-use buildings in a manner that will not diminish, and will ideally enhance, their historic or cultural integrity
- Build and strengthen local heritage economies by prioritising the use of skilled artisans and crafters to conduct restoration, conservation or adaptive reuse work
- Develop the site as a local tourist destination
- Incorporate site in local heritage tours
- Document all buildings and structures before any changes are made
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the NHRA of 1999
- Introduce new buildings in open spaces, such as at the front of the main house (refer to the urban design proposal)
- Create a new vibrant atmosphere that makes the conservation of the heritage buildings sustainable through memorialisation
- Open up all the buildings to the public and to different cultural groups
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings
- Public facilitation takes place prior to the development

2.9.4 Views and vistas

Aim: To retain and enhance views of aesthetically and architecturally significant buildings/sites and historic clusters as a whole.

Policies:

- Protect ridge lines and views of ridges
- Retain views of the aesthetically and architecturally significant buildings/sites

- Ensure that all new buildings erected within a 100 metres radius do not exceed or visually obstruct, or divert attention away from the character of the site
- Make sure that no trees or structures introduced within a 100 metre radius of the main house block, obstruct or divert attention from the site/historic cluster
- Maintain a 360-degree view of significant sites (Grade 1, 2 and 3A)
- Introduce public sitting areas or viewing areas in and around publicly significant buildings to allow for a panoramic view

2.9.5 Management

Aim: To identify a management structure that will implement the conservation guidelines for the site

Policies:

- Establish a team of professionals to oversee the restoration of historic structures and the introduction of new buildings
- Create a mechanism for carrying out regular maintenance
- Set up a conservation team that is responsible for the day-to-day conservation decisions at the site/s
- Establish, maintain and expand an inventory for all significant sites within the Corridors for public awareness
- Ensure that local affected and interested parties include local historic and/or heritage conservation bodies and register such parties with the PHRA_G
- Ensure that CMPs are publicly accessible to facilitate ongoing monitoring at a local level

2.9.6 Fabric and setting

Aim: To identify the most appropriate way of caring for the buildings' fabric, materials and setting.

Policies:

- Identify all the original materials in buildings that are colour-coded green and orange
- Retain and restore all the original materials, doors, window panels and other original features of the buildings
- Design contemporary but complementary new buildings around the site
- In new buildings, use materials that fit in well with the site's historic fabric
- Ensure that building designs and materials introduced to the site do not overpower the older buildings

- Where original construction materials, fittings or furnishings are to be discarded, ensure that these are retained and used in restoration or conservation work in the same community (locals should enjoy first option to refuse!)

2.9.7 Adoption and review

According to the NHRA 25 of 1999, it is recommended that the CMP should be reviewed at least once every two years.

2.10 Conclusion

In conclusion this section outlines the general methodology that was used in the research and compilation of this report. It also explains the general principles that were used in the assessment of individual sites and historic clusters, as well as the recommended conservation principles that should be adhered to in areas where development is going to take place. Part Two includes the historic overview of the precinct and details the different sites of significance, which are categorised into six categories namely commercial, institutions, religious, residential and structures.

3. Historic context_Corridors of Freedom

The COFs span across multiple natural and geological features, cultural landscapes, conservation areas, suburbs and historic places. They also incorporate cemeteries, graveyards, sites of pre-colonial occupation, structures from the early colonial historic period, and heavily built up areas – both urban and suburban – that capture the entire late 19th, 20th and 21st century evolution of Johannesburg. The Corridors include sections of the mining belt, apartheid era townships, at least three major industrial nodes, municipal parks and other public open spaces, as well as a vast network of urban infrastructure ranging from reservoirs, bridges, stairs to sidewalks and even the remains of tramlines. They include Grade 1 and 2 heritage sites and significant landmark buildings and architectural typologies. In many places the Corridors also correspond with historic game trails and wagon trails, historic view sites, sites associated with important events in the City's history and, most importantly, intangible heritage.

While the five HIA reports seek to survey and map these resources in the areas identified by the City, it is nearly impossible to bring a coherent narrative to such a vast field of material and places. Yet, to understand the significance of individual areas or heritage typologies it is useful to explore the historic continuities that the Corridors (and the areas making up the Corridors) share despite the obvious challenges of such an undertaking.

In response, tsica heritage consultants commissioned respected architectural and cultural historian, Clive Chipkin, to write a historic assessment of the corridors. This covers:

- Geology, topography and other natural features
- The evolution of trails and roads
- Sites of pre-colonial occupation
- Modernism in Johannesburg as an important architectural and cultural legacy
- Recurring building typologies and features of cultural significance

The historic overview (attached as **Appendix A**) frames the key moments, points and typologies that proved highly influential, and recurs in various mutations and iterations, or that are simply of heritage significance. Lastly, Chipkin explores exemplary models from the past that directly speaks to the vision of the COF. What Chipkin finds is that developers, planners and architects have been experimenting for decades with questions of connectivity, efficiency, liveability, urbanity and identity. While these examples are of a specific time and place, they can guide and inform current and future planning and decision-making. Johannesburg has a rich and multi-layered history of urban experimentation that can serve as inspiration for city planners.⁴

4. Conclusion

Arising from the COF SAFs, the JDA appointed tsica heritage consultants to conduct heritage impact assessments of five precincts falling within the corridors. The precincts are:

- Orange Grove Precinct
- Knowledge Precinct
- **Brixton Precinct (subject of this report)**
- Turffontein Precinct
- Rosettenville Precinct

The heritage impact assessments are undertaken to ensure that the City complies with the NHRA, number 25 of 1999, in implementing the SAF and the projects described therein.

The following report has been prepared by tsica heritage consultants and covers the findings of its investigations undertaken to date. The report serves both as a public participation tool for eliciting further inputs from affected communities and interested parties as well as in final draft (once stakeholder feedback has been incorporated) as an HIA study that will be submitted to the PHRA_G for consideration and approval. Should the PHRA_G approve the findings and recommendations contained in this report, a permit will be issued to the COJ to proceed with work detailed in the SAFs.

It is imperative that the HIA described in this report be read in conjunction with the SAF for the Empire-Perth Development Corridor.

Part 2_Brixton Precinct_Heritage Impact Assessment & Conservation Management Plan

5. The Empire-Perth Development Corridor

The Empire Perth Development Corridor incorporates historic residential areas of the northern and western parts of the city including Parktown, Richmond, Auckland Park, Braamfontein Werf, Cottesloe, Jan Hofmeyr, Melville, Rossmore, Westdene, Hurst hill, Brixton, Crosby, Coronationville, Westbury and Newclare. The Corridor is home to a number of important University campuses each containing significant collections of 20th century architecture and other important sites of significance, a well-established media, film, TV and broadcasting hub, significant natural and manmade conservation areas, sites associated with the struggle against colonial and apartheid oppression and an important industrial centre. The Corridor also bares testimony to late 19th and early 20th century urban migration with both a black and Afrikaner 'underclass' settling in the western areas on disused or left-over ground between sewerage works, cemeteries, railway lines, garbage dumps, mine dumps and other undesirable locations. The Corridor therefore runs through a number of historic suburbs that provide a full account of the development of the city – architecturally, socially, culturally, politically and economically.

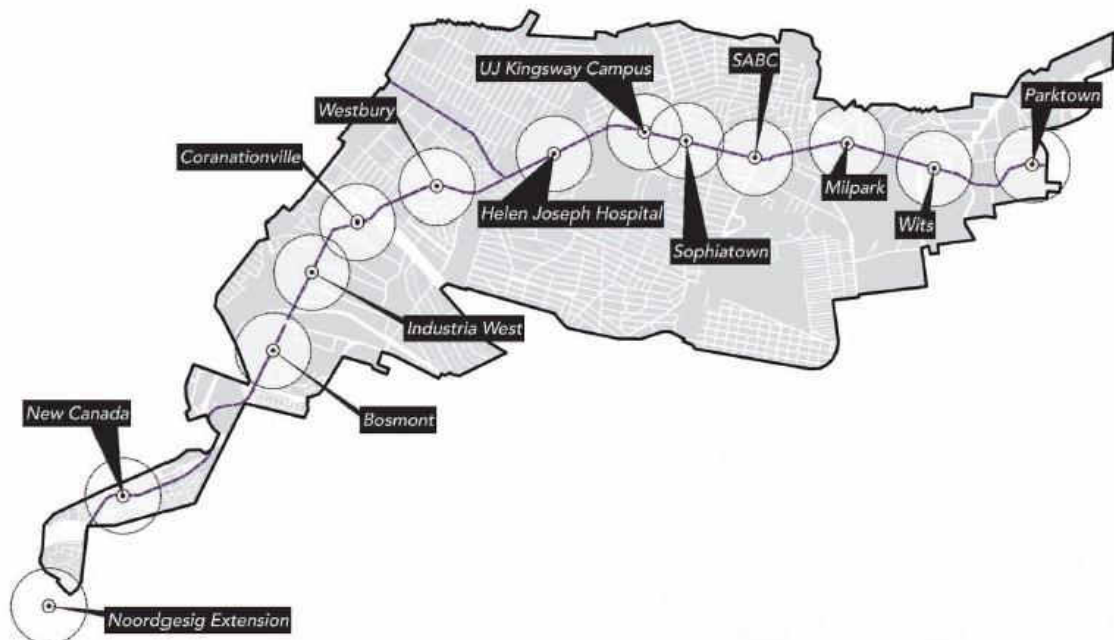


Fig. 1 Outline of the Empire-Perth Development Corridor
(Source: City of Johannesburg, Strategic Area Framework)

The detailed HIA study area consists of the Brixton Precinct which is centrally located within the Empire-Perth Development Corridor. The Brixton Precinct includes Brixton, Hurst Hill and sections of Crosby, Mayfair West, Rossmore and Auckland Park. The precinct is bordered by Auckland Park and Westdene to the north, Mayfair West and Crosby to the south, Coronationville to the west and Jan Hofmeyr and the Brixton cemetery to the east. The proposed Corridor of Freedom developments are described in detail in the Empire Perth Development Corridor Strategic Area Framework in pages 91 to 93. In summary the proposed development opportunities that the city are pursuing are:

- Social cluster upgrades along High Street including upgrades to the Brixton Park, Library and Sports Fields
- A pedestrian link from Langlaagte Station to Brixton along Jill Street (which falls outside of the HIA study area and therefore the scope of this report)
- Densification and redevelopment principally along Portland, High, Collins and Caroline which will involve a range of strategies including increased height zones and mixed-use development
- Retention of Kingston Frost Park as key open space

These developments are summarised in the below map:

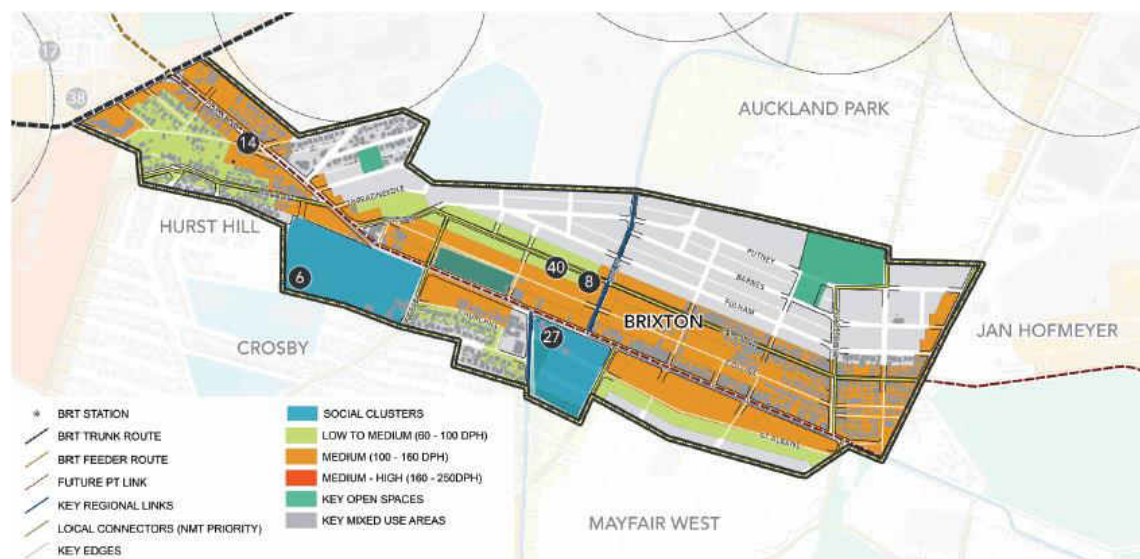


Fig. 2 Outline of the Brixton Precinct
(Source: City of Johannesburg, Strategic Area Framework)

Note: for the purpose of this report two Precincts were created namely, Brixton, Crosby, Mayfair West and Auckland Park have been clustered together as the Central Brixton Precinct and Hurst Hill and Rossmore Precinct.

6. History of the Brixton Precinct

Johannesburg owes its existence to the gold-bearing conglomerates of the Witwatersrand Basin (Viljoen & Reimold 2002:20). The Witwatersrand Supergroup was formed from an accumulation of ancient sedimentary rocks (ibid). The basal quartzite of the Brixton Formation of the Supergroup was deposited nearly 2,800 million years ago. The quartzite provides “evidence of shallow-water tidal conditions, in the form of herringbone cross-bedding, formed by in- and out-going tides” (ibid, 24). This quartzite is clearly exposed below the Sentech Tower along the road cutting on Henley Road and is indicative of the “ancientness” of the Witwatersrand.

Of the Stone Age communities who inhabited the area, no major sites have been recorded at Brixton. Their presence has however been documented at Waterval, Northcliff, Roosevelt Park, Emmarentia, Parkview and at Melville Koppies where communities from the Middle Stone Age were active. Late Iron Age communities also smelted iron at Melville while Late Iron Age finds have been made at Paardekraal Ridge and Klipriviersberg (Gauteng Open Space Project database. See also Brodie 2008:5).

The Brixton area enters the documentary record with the 19th century establishment of the Braamfontein farm in the Heidelberg District by Gert Bezuidenhout. In 1858 the farm was transferred to FJ Bezuidenhout, CW Bezuidenhout and FJ van Dijk (Author unknown 1986:3). By 1887 parts of the farm was owned by JJ Lindeque who sold some portions to the South African Republic. The succession of sales and increasing land values hint at the strategic importance of the farm, situated immediately north of the first *mynpacht*. With the emergence of Johannesburg and its earliest residential areas, this strategic position would gain in importance.

By the 1890s, Brixton and neighbouring Auckland Park, were home too infamous “slaughter houses” which were “without exception dirty and in bad condition and... a perfect disgrace” (Shorten1970:172).



Fig. 3 Image purportedly showing old slaughter poles in Brixton
(Source: Shorten, J.R.,
The Johannesburg Saga, 1970, p. 172)

Then, in December 1902, W.H. Auret Pritchard on behalf of the Auckland Park Real Estate Ltd. surveyed the new suburb of Brixton (Smith, 1971: 64-65). It was on an area that had initially been recommended by Captain Von Brandis for acquisition by the state as grazing land for cattle. However, in January 1903 (following the South African War), 500 stands on Brixton Estate were put up for sale (ibid). Since the stands were smaller than neighbouring Auckland Park, they were largely aimed at members of the working and lower middle classes.

However, the original notice of sale also pointed out that the northern boundary “along the ridge overlooking Auckland Park [are recommended] as sites eminently suitable for the erection of Cottages, Villas or other Residences” and more importantly, “that it commands a view which is a perfect panorama reaching far away to the Magaliesberg Mountains... These Charming View Sites are equal to, if not surpassing, the picked View Sites of Parktown...” (ibid). Already the developers were conscious of the southern sections “in the vicinity of Mayfair on the Main Road” as “specifically attractive as commercial sites” and “almost any class of business” while the northern boundary would apparently be better suited to more genteel domestic uses (presumably while also making for more desirable neighbours for the residents of Auckland Park).²

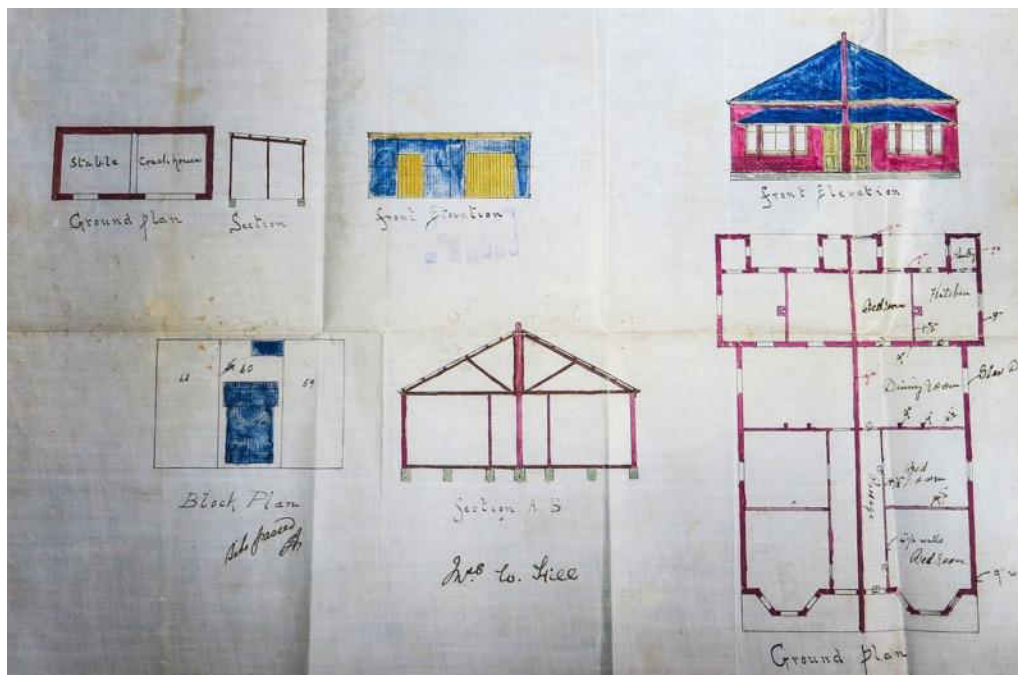


Fig. 4 Early Brixton plan for a pair of semis on Barnes Road_Stand 60_Plan dated 1903 for owner Mrs. W. Hill

(Source: City Council of Johannesburg, Plans Archive)

² This might also explain why the English ‘High’ Church is in closer proximity to Auckland Park than the English ‘Low’ Church – although this is pure conjecture.

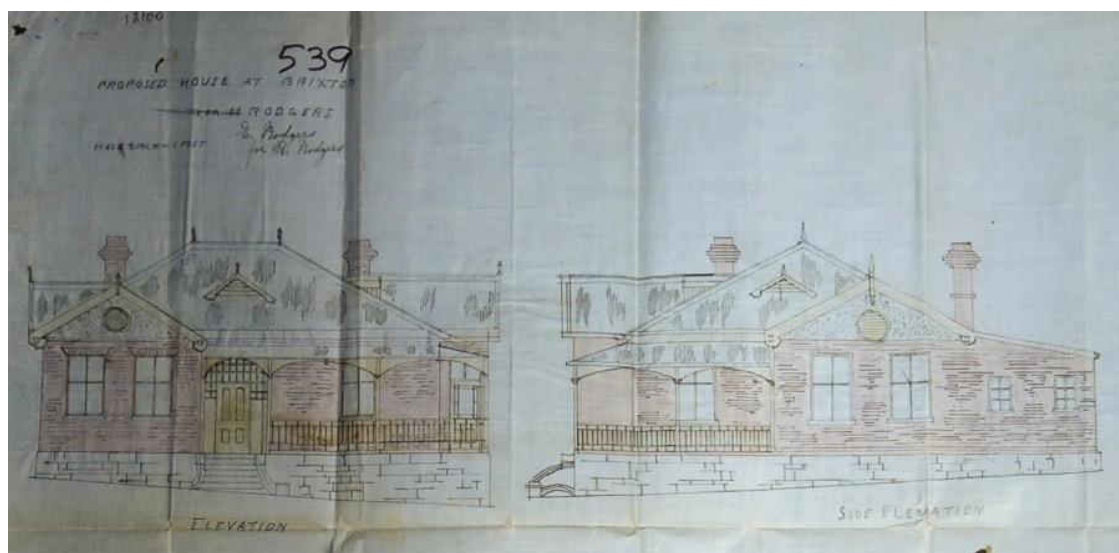


Fig. 5 Plan for residence on Collins Street Stand 539_Plan dated 1904 for owner H. Rodgers_house demolished
(Source: City Council of Johannesburg, Plans Archive)

Thus the social and economic structure of Brixton had to some extent already been dictated by geography and topography. Despite, some loftier aspirations, Brixton remained largely working and lower middle class as is apparent from baptismal records of St. Augustine of Hippo dating from between 1913 and 1938, which lists “quality, trade or profession” typically as “engine driver”, “detective”, “carpenter” and “miner” (Baptismal records of St. Augustine of Hippo, Brixton in the Diocese of Pretoria).

In the early years of the 20th century skilled English-speaking artisans dominated (Bonner 2012:12). Many came from the British Isles, were Wesleyan/Methodist, and unionised in the tradition of the British working-class left. These sympathies did not however mean that their political concerns stretched across the colour line. As early as 1903 and 1904 when authorities proposed a scheme to resettle Indian and African residents of the “Coolie location” to a piece of land adjacent to Brixton, residents (along with their neighbours in Fordsburg and Mayfair) “objected strenuously to having the town’s Africans and Indians as neighbours” (Phillips 2014:317). This set the scene for the eventual establishment of Klipspruit.

The first Brixton stands sold quickly. The Valuation Roll of 1904 gives the average price of 50 by 100 Cape feet stands as ranging from 90 to 96 Pounds with corner sites selling for 100 pounds (Johannesburg Heritage Foundation archives, Brixton: Valuation Rolls); corner stands being particularly well suited for commercial-cum-residential units.

Thus, prior to the emergence of High and Caroline streets as mixed-use arteries, the suburb had a number of corner shops scattered throughout – which

remain a characteristic feature of the suburb. Three particularly noteworthy extant examples include Feinstein’s Corner Shop (1904), Shop Reid (1906) and the original façade and veranda of ‘Ms. Hong’s shop’ (1916/18). (Drawings below by Eric Brindeau, 1991).

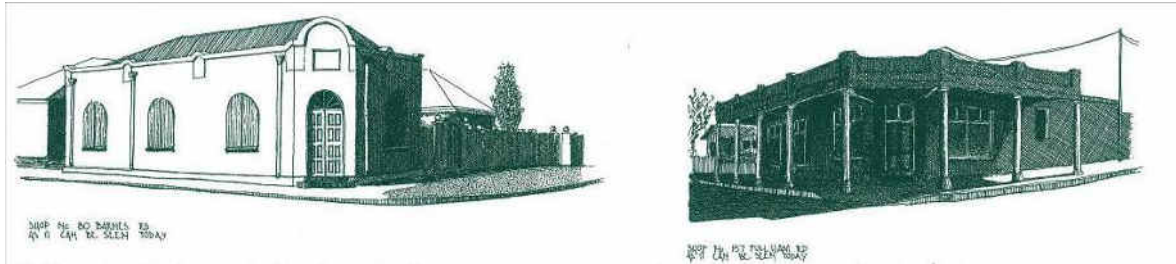


Fig. 6 & Fig. 7 Drawings of corner shops on Barnes Road ('Shop Reid') and Chiswick Street ('Ms. Hong's Shop')
(Source: Eric Brindeau, 1991)

A number of prominent social, institutional and religious buildings and public spaces were constructed in the first two decades. These include a Wesleyan Church (1905), the nearby cemetery which carries the suburb's name (1912), the Anglican Church of Saint Augustine of Hippo (1913), the Brixton Primary School (1913), the Hindu Crematorium (1918), the Brixton War Memorial (erected in its present position in 1936), the Scout Hall (1925) and Kingston Frost Park (1925).

The 1920s also marked a key event in the city's history – one with which Brixton was closely synonymous with. On the 8th of March 1922 as the Rand Revolt raged, "large crowds of Whites and Natives clashed at Brixton in Johannesburg where a White man and Indian woman lost their lives" (Shorten 1970:324). On the 9th of March, children at the Brixton Government School were instructed not to go to the front of the school building as strikers were marching down Caroline Street (Louw 1991:62). By the 11th of March troops stationed along the Brixton Ridge were offered shelter at night by some residents including the Marais family at 114 Putney Road. By now rebels had besieged 183 policemen. The Union Air force was called-in to drop supplies to the beleaguered forces and bombard rebel positions.

"On the morning of 12 March, at 08:30, six planes flew over the besieged positions and dropped supplies of bread and ammunition. The bread was of little use since the policemen's mouths were too dry to eat it! The ammunition was a welcome relief and enabled the besieged to hold their position until the relief force arrived. The planes were not only of importance for logistical support, but were also involved in giving close air support

to the advancing ground forces. The fortified, entrenched position of the strikers was attacked from the air using machine-guns and bombs. These not only greatly suppressed the strikers' fire on the besieged positions, but also led to various members of the striker commandos surrendering to the besieged police. The police were still subject to heavy fire as soon as the planes withdrew.

Lt. Col. Thackery's ground forces attacked Brixton Ridge at 11:00 from the north and the east, supported by artillery fire from the Transvaal Horse Artillery under the command of Maj. F.B. Adler.

The Durban Light Infantry, who attacked Brixton Ridge from the north and the north-east, succeeded in reaching the besieged forces by 14:00.

They did not suffer any serious casualties, but the Transvaal Scottish, who attacked from the south-east, suffered three dead and 29 wounded.

At 15:00 that afternoon, the siege of the two police units was ended and the Government forces regrouped for an attack on Fordsburg, the last stronghold of the strikers, on 14 March."

(Source: Fokkens, M.A. 2006:41)

2,200 prisoners were held captive by the end of the siege (SA History Online: Rand Rebellion 1922). Meanwhile, on the same day, Pieter Marais was killed by strikers behind "Anstey's shop" – the Brixton branch of the Anstey's Department store (Louw 1991:63).³ On "Black Sunday", the 12th of March, with bombardments underway, Arthur E Hewson was shot dead in his garden in Putney Road. According to Louw, Hewson lived "across the road from the Marais family" (Louw 1991:63).⁴

³ The location of the store mentioned by Louw is unknown.

⁴ Hewson was the father of the Reverend Lesley A. Hewson – later chairman of the Methodist Conference and author of a study on the history of the Methodist church in Southern Africa. He lobbied for the release of Reverend Thompson of the Johannesburg West Circuit and other Methodist apartheid detainees.

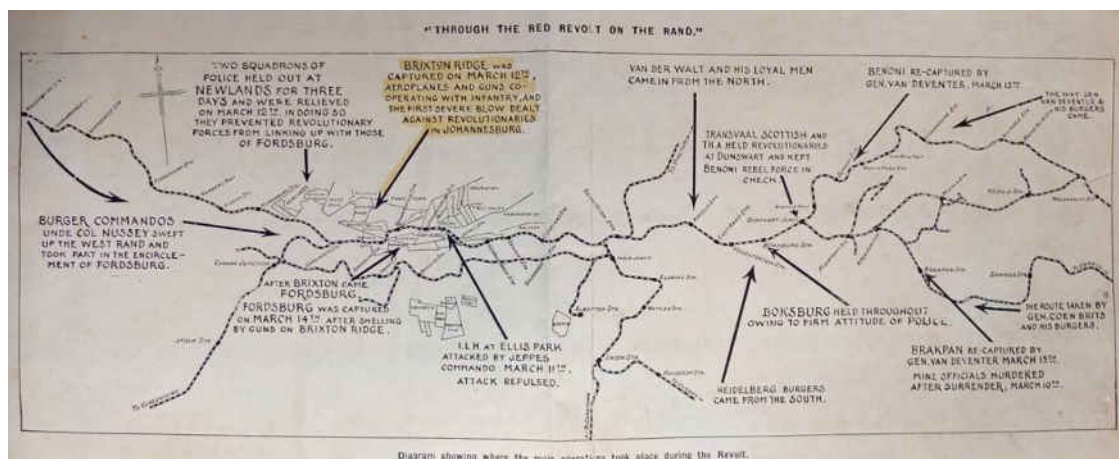


Fig. 8 Map detailing key points of conflict during the Rand Revolt (Source: Johannesburg Heritage Foundation archives)

The death of Marais resulted in one of the most controversial trials of the rebellion. The accused included Samuel Alfred Long later known to the public as “Taffy” Long. The first appointed court was unable to reach a verdict on whether Long was indeed the killer. However, a subsequent retrial found him guilty and the death sentence was carried out on the 17th of November of that year. Many continued to believe he was innocent. 12,000 people purportedly attended his funeral (Louw 1991:65).

Brixton – together with Fordsburg – thus formed the heartland of white working class rebellion (Harrison & Zack 2014). While many white residents were only interested in protecting the ‘Colour Bar’ on the mines and in other industries, some key figures associated with the church lobbied for greater political rights for black communities.

In the first half of the 20th century, the most prominent activist couple was arguably the Rev. Frederick Brainerd Bridgman and his wife Clara of Putney Road. Bridgman was instrumental in the founding of the Bantu Men’s Social Club, the Jan Hofmeyr School of Social Studies as well as a clinic for migrant mine workers (Oberlin College Archives: RG30/349 – The Bridgman Family Papers). Clara was not only a respected missionary in her own right but founded the Talitha Home in 1919 for “rehabilitating delinquent Zulu girls” (ibid). Following the death of her husband she also founded the Bridgman Memorial Hospital on High Street (at what is today the Garden City Clinic) in Mayfair (ibid). Until 1965 this was one of the leading health facilities for the black community. Governing board members included notable figures such as Charlotte Maxeke and Dr. Alfred Xuma (Bridgman Memorial Hospital Annual Report for the year 1932). The hospital played an important role as a source of employment for black medical staff and an educational resource for black

midwives and medical students. Clara also founded the Helping Hand Club which assisted Zulu women to find jobs in Johannesburg. In seven years the club facilitated the placing of 600 women in domestic service jobs. The Bridgman Memorial Hospital forcibly closed in 1965 as a result of the Group Areas Act. From the proceeds of the expropriation of the land a new clinic was established in Zola, Soweto.



Fig. 9 The Bridgman Memorial Hospital on High Street/ Bartlett Drive_Mayfair West
(Source: Bridgman Memorial Hospital Annual Report for the year ,1932)

As the suburb developed infrastructure investments were made by Council and water and power utility companies. As early as 1907 the Rand Water Board received approval from City Council to commence with the development of a reservoir (at Crosby) for which Council would contribute half the costs. In 1939 a water tower was prominently erected on the Brixton ridge (Johannesburg Heritage Foundation. 2014). Water borne sewerage was introduced by 1929 and gas in 1936. Tramlines ran along Caroline and Collins with the outward-bound track using the centre of Collins and the inward bound track running along the sidewalk of Caroline (Spit with Patton, 1976: 106). A Brixton “view site” was established by council in 1949.



Fig. 10 Construction underway of the Brixton water tower, circa 1939
(Source: Museum Africa)

During the 1930s, 40s and 50s High Street emerged as a more formal commercial and mixed-use hub with prominent corner buildings – ground floor typically reserved for retail, 2nd to 3rd or 4th floors reserved for apartments. This period also marked new investment by city authorities in social facilities including tennis courts, a library, swimming pool and the Brixton Park (formerly known as the Hunter Mclea Sports Ground, later taking on the name previously used for Kingston Frost Park prior to 1939). These developments positioned High Street as an obvious strip serving not only Brixton but Mayfair West (1931) and Crosby (1938) as well. At the same time, Caroline Street remained an important connector between the Western Native Township and the city via Vrededorp, as trams and trolley busses continued to use this route until eventually phased out.

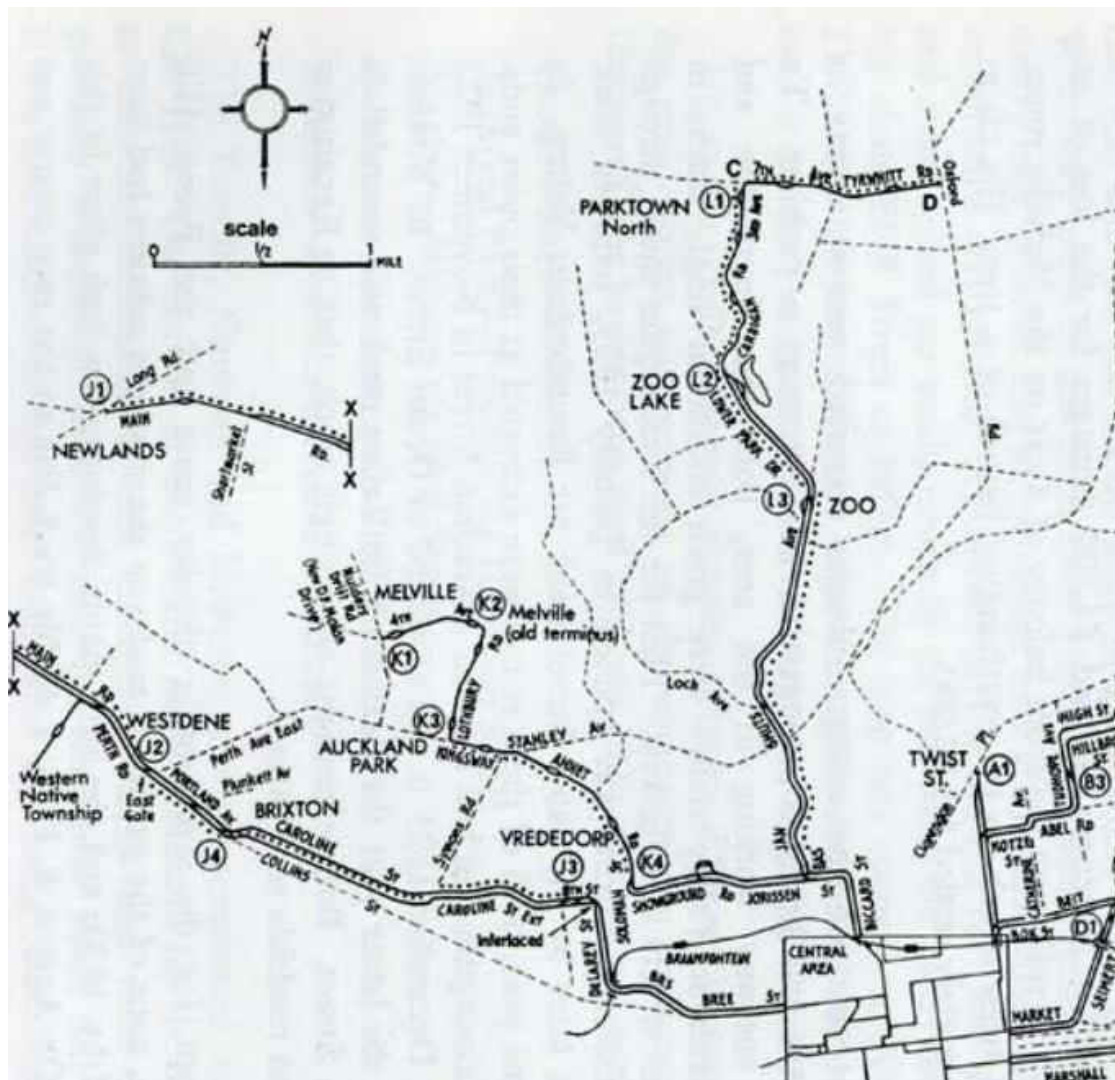


Fig. 11 Map of the Western tram routes
 (Source: Spit with Patton, 1976: 38))

The 30s also saw the rise of a concern with ‘poor whiteism’. By now Brixton had “gradually acquired an Afrikaans speaking identity” (Bonner 2012:12) and the authorities adopted more explicit welfare policies in respect of poor urban Afrikaners – and in particular delinquent youth and single women. In Brixton such interventions were overshadowed by the much larger intervention at Jan Hofmeyr – a welfare scheme declared in 1935 for predominantly poor Afrikaners and ironically objected to by “snobbish” residents of Brixton and Auckland Park.

In 1931 the Gereformeerde Kerk was built with Nelly Edwards as architect. In 1937 roughly ten stands were brought for a “residential club for girl workers, accommodating at first 150 and later 300 girls” (Johannesburg Star, 17 November 1937). In 1937 a home for the aged was established. While, in 1941

a boy's club and home followed. Another hostel for lowly paid workers, Brixton House, was built in 1947.

Under apartheid, the Albert Hertzog tower (today, the Sentech tower) and the Irish Volunteer Monument (1975) were constructed. During the political oppression of the late 1980s and 90s, Brixton was home to the infamous Brixton Murder and Robbery Squad which had a reputation for "brutality, torture and vice" (Weekly Mail Reporters, 4 September 1992: Why we bugged Staal). Four of the members of this squad, Staal Burger, 'Slang' Van Zyl, Chappie Maree and Calla Botha formed the nucleus of South Africa's Civil Co-operation Bureau (CCB) established on 1 June 1988. The CCB was essentially a hit squad of the South African Defence Force and was implicated in extra-judicial and covert abductions, disappearances and assassinations. Amnesty International "received detailed and credible reports of assault and torture, in some cases leading to deaths, of detainees in police custody" at Brixton (among other stations) (Amnesty International 1991:3).⁵

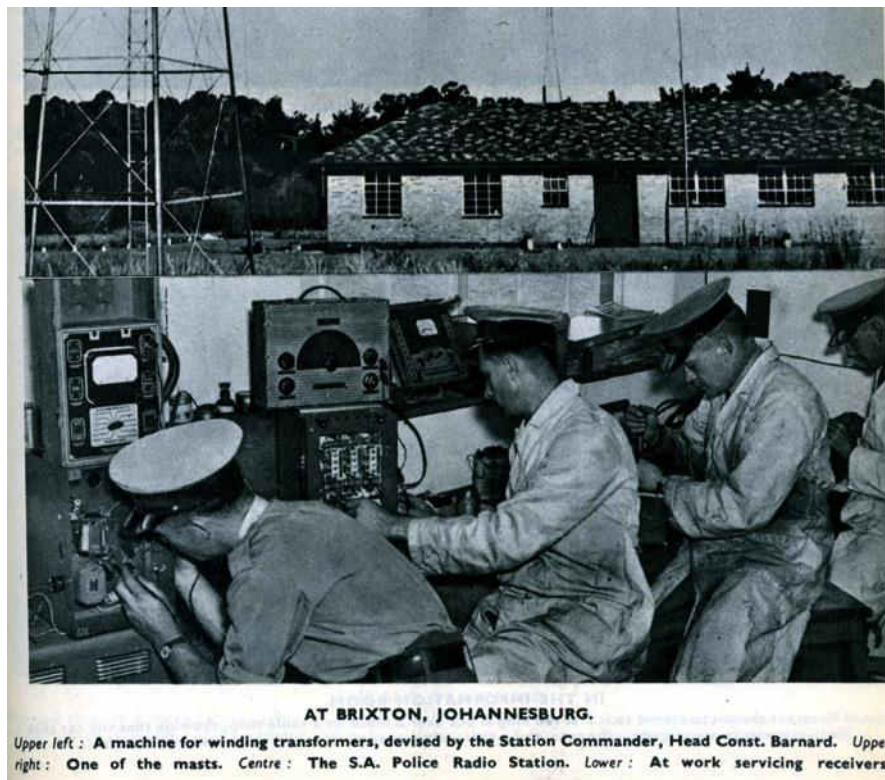


Fig. 12 SA Police Radio Station in Brixton

(Source: <http://www.enongqaipublications.com/brixton.html> accessed November 2015)

Brixton was ironically one of the first 'grey suburbs' which emerged from the 1970s. These suburbs were typically older, working class suburbs where the

⁵ After 1994, the Brixton Police Station and Flying Squad continued to be under the spotlight with damning reports of police brutality made well into the 2000s.

population increasingly became more racially integrated despite official apartheid policy. This accelerated in the late 1980s as the courts and police ignored official segregationist policies.

As with many other older suburbs rapid demographic change also frightened off investors and many banks started to 'red-line' suburbs – accelerating the much hyped 'white flight' from older suburbs. This invariably led to further disinvestment and urban decline – something that the community continues to battle.

By the late 80s and 90s Brixton had changed. A new generation of activists, academics, journalists, artists and students called Brixton home. While some areas were still 'red lined' de facto slums, others experienced gentrification as historic houses on the ridge competed with Melville to attract young creatives and professionals.

Today, Brixton is a suburb in transition. While 'red lining' is less of a problem than in the 90s, investment is still uneven. A sluggish local economy has meant that many historic buildings have remained intact. At the same time, many of these buildings are in need of urgent rehabilitation if they are to continue to serve a useful life. Some structures have been adapted to organically allow for greater densities which have both altered the suburb while still leaving streetscapes, original fabric, vistas and views surprisingly intact. More than neighbouring Mayfair West or Crosby, the streets are actively used by pedestrians and constitute important social spaces. This is enhanced by the proximity of houses to the street edge and the orientation of stoeps, verandas and balconies. The scarcity of public open space has also meant that available recreational spaces such as Kingston Frost Park, the Brixton Park (in Crosby) and the Brixton Swimming Pool remain valued social, sporting and cultural facilities.

See summarised timeline and significant trends in Brixton precinct in **Appendix B**.

7. Identified sites of significance_Central Brixton Precinct

7.1. Introduction

To easily process and analyse the information gathered, research material for each suburb was divided into six different categories as follows: main streetscapes; commercial buildings; institutions (e.g. schools, rec centres, libraries, sport facilities); religious buildings (churches, synagogues); residential; and structures.

A data form for each site per category was created with the name of the building, street address, erven, statement of significance, site description and Grading. A GIS locality map follows each data form to locate the site according to the surrounding environment. An original plan (where this could be sourced) from the plans archive is also included. Photographs of the site complete the photo-documentation. A summary of the proposed development for each site is stated and a list of recommendations concludes each form. There was an attempt to identify areas where heritage resources are clustered and such places are identified as historic clusters. Development in such areas should be avoided or limited so as to not interfere with the fabric or the character of the cluster. This is clearly shown in the visual survey map digitized map (**Appendix C**). These maps have various layers, including buildings over 60 years, important streetscapes, historic clusters, proposed development, open spaces, and the BRT main routes and stations. Including all this information on one map helps to show the impact of the proposed developments on the heritage in each of the areas.

Categories	Description
Main Streets	Consists of the main commercial streets, or the most significant streets within the suburb. Some may be significant because of their historic setup or the tree line.
Commercial	Captures the historic commercial spaces and buildings that have been important as commercial nodes in the community.
Institutional	Consists of schools, clinics, recreation centres of significance. In most cases the institutions carry a social significance as places where the community gathers for special community events.
Religious	Consists of churches, synagogues and other religious building structures.

Residential	Different types of houses were identified within the Corridors. In some suburbs certain design patterns could be established where there are different housing typologies of different decades.
Structures	All historic structures were placed in this category, including curb stones, bus shelters, lampposts etc.

7.2. Identified sites of significance_Main Street_High Street

Address	High Street
Year of erection	N/A
Architect	N/A
Heritage significance	Social
Statement significance	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3C
<p>Site Description</p> <p>Most of the residential architecture (northern section of High Street) dates from the late 1920s to the 1950s. Residential architecture is therefore younger than northern Brixton. The only extant residential architecture are still found along the north-western portions of High Street between West and Kew Streets, and Guildford Street and Ripley Road. The middle section (Ripley to Wimbledon) is largely characterised by 1930s, 40s and mid-century commercial and mixed-use architecture of one to three storeys. Some light industrial activities such as workshops together with late 20th century in-fill developments are also prevalent. The section between Wimbledon and Chiswick contains a mixture of commercial and residential architecture. Most of the architectural and socially significant sites are found not in the Brixton portion (northern side of High Street) but in the Mayfair West and Crosby side (or southern section) of High Street including the stone walling of the Brixton reservoir, the Brixton social precinct consisting of a swimming pool, tennis courts, library and park as well as a number of 1930s mixed use architecture that have remained mostly intact.</p>	

Locality map

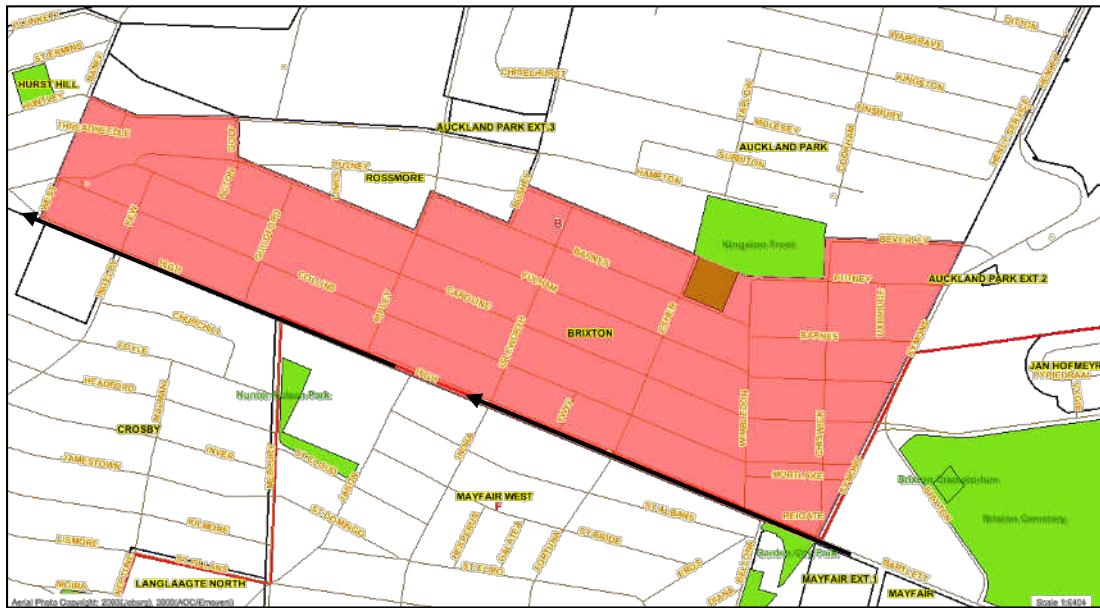


Fig. 13 Location of the suburb of Brixton, High Street is running along the south-eastern boundary line of Brixton
(Source: City Council of Johannesburg, GIS Map)

Historical background

High Street is an example of a mid-century suburban residential and mixed-use strip that emerged as a result of suburban expansion, the growth of car ownership and the replacement of trams with trolley busses. By the 1930s many suburbs were becoming more self-contained and people travelled less to town for shopping.⁶ High Street competed for primary commercial status with Caroline and Collins streets as the principal thoroughfare as these two streets were traditionally where the tramways ran up until at least 1945.⁷ High Street provided focus to new commercial activities in a suburb that had a well-established tradition of corner shops (many of which are still extant). High Street also had the advantage as it allowed for outward expansion south of Brixton while meeting the new needs of Crosby (1938) and Mayfair West (1931). This status was reinforced by the establishment of new social facilities in the 40s and 50s including the Brixton Swimming Pool, Brixton Library, and Brixton Park and the tennis courts.

⁶ Spit with Patton, 1976: 59.

⁷ Ibid



Fig. 14 Main entrance of Brixton Library shortly after completion in 1949
(Source: Museum Africa)



Fig. 15 Historic Image of High Street with Brixton Swimming pool on southern direction along High Street around 1940's
(Source: Museum Africa)

From aerial photographs taken in 1938 it is clear that the northern section of High Street was initially mostly residential with the southern sections largely still undeveloped with the exception of the Brixton reservoir and some sections of Mayfair West in the process of consolidation and expansion (see figure below).



Fig. 16 1938 aerial map of Crosby/ Brixton/ Mayfair West. Residential stands visible along the northern section of High Street, undeveloped land along the southern section of High Street (Source: Land Surveyor General, 1938)

A sample selection of plans drawn from the City of Johannesburg planning department, shows that residential buildings along High Street dates mostly from the late 1920s, 30s and later. Houses are rather typical of residential architecture in general for this period. Of the remaining houses very few are unaltered.



Fig. 17 High Street residential example 1. Cottage for Mrs. A. Raison, stand 627 High Street (1950)

(Source: City Council of Johannesburg, Plans Archive)



Fig. 18 High Street residential example 2

Pair of semi-detached cottages, stand 628, High Street for W.F. Pretorius designed by A. E. Robinson (1935)

(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 19 Northern section of High Street
(Source: tsica heritage consultants, 2015)



Fig. 20 Southern intersection of High Street on the corner of Indra Street
(Source: tsica heritage consultants, 2015)



Fig. 21 Southern intersection of High Street
(Source: tsica heritage consultants, 2015)



Fig. 22 Southern intersection of High Street
(Source: tsica heritage consultants, 2015)



Fig. 23 Street scene with typical 1930s corner buildings with curbing in centre of roadway
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Due caution should be taken when development happens around 3A and identified historic clusters where conservation is recommended. 3A sites may require further heritage approval from PHRA_G for development. Demolition and new build should be avoided in favour of repurposing of sites within historic clusters or where recommended as 3A sites.</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Rehabilitation and upgrade of pavements along High Street is recommended in order to reactivate historic shop fronts. Views of 3A sites and street facades of public buildings to be maintained when future public transport infrastructure is planned.</p>
<p>Social Cluster Development Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations Stone walling at Brixton park to be retained. Existing tree lines around cluster to be retained. Upgrade of Swimming Pool to be overseen by heritage architect and may require additional approval from PHRA_G. Should a proposal for the demolition of the public library be pursued (as contemplated on page 100 of the SAF) approval from PHRA_G will be required.</p>
<p>Mixed-use Development Street falls within a mixed-use development zone with possible extension of mixed use zoning</p>	<p>Recommendations Most of High Street already consists of mixed-use building blocks. Care should be taken with grade 3 shop fronts, verandas, balconies etc. in accordance with individual site CMP guidelines.</p>

7.3. Identified sites of significance_Commercial buildings along High Street in Brixton

Introduction

Commercial buildings are buildings that are generally used for commercial purposes or have been zoned for commercial usage. Sites represented in this category have some historic/social or architectural significance. Some are representative of a certain typology of building that is found in the area. A detailed visual survey was done in the area and listed below are buildings that were identified as representative of commercial buildings and that are considered to have some heritage/cultural/historic significance. Sites were graded according to their significance below.

Grading

3A_Buildings that have a highly significant association with a historic person, social grouping, event/s, public memories, activities or that are historic landmarks (should be conserved and enhanced).

3B_Buildings of marginally lesser significance for example where there have been alterations made but the site still meets the other criteria of 3A sites (sensitive alteration and additions to the interior allowed on approval).

3C_Buildings where the significance is in large part based on setting and contextual relationships in so far as these contribute to the character or significance of the surrounding environs including landscapes, streetscapes, townscapes or areas (possibility of sensitive alteration and addition to the interior/exterior).

Summary Table of identified sites in the commercial category:

Site/ Stand No.	Description	Field Grading	Heritage Implications
29	High Street_Double storey mixed-use building_Mayfair West_Stand 29	3C	Possible major changes, documentation necessary
48	High Street_Double storey corner mixed-use building_Gabriel Mansions_Mayfair West_Stand 48	3C	Possible major changes, documentation necessary
78	High Street_Three storey commercial mixed-use building_Mayfair West_Stand 78	3C	Possible major changes, documentation necessary

Site/ Stand No.	Description	Field Grading	Heritage Implications
680	High Street_Mixed-use building_Brixton_Stand 680	3C	Possible major changes, documentation necessary
767	High Street_Three storey commercial mixed- use building_Brixton_Stand 767	3C	Possible major changes, documentation necessary
404	Caroline Street_Single storey corner shop_Angela Supermarket_Brixton_Stand 404	3A	Conservation highly recommended
117	Caroline Street_Single storey corner shop_Stand 117	3A	Conservation highly recommended
85	Fulham Road_Single storey corner shop_Shop Feinstein (Grade 2)_Brixton_Stand 85	2	Declared site, Conservation highly recommended
1/81	Fulham Road_Original Façade of single storey corner shop _"Ms. Hong's Shop"_Brixton_Stand 1/81	3C	Possible major changes, documentation necessary
59	Barnes Road_Single storey original corner shop_"Shop Reid"_Brixton_Stand 59	3A	Conservation highly recommended

7.3.1 Double storey mixed-use building_Mayfair West_Stand 29

Address	32 High Street cnr Jason Street
Stand no.	29
Current zoning	Business 1
Year of erection	1930s
Architect	Unknown
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3C
Site description	
Two storey, brown face brick, mixed-use corner building on the intersection of High and Jason streets. An example of an unadorned, 1920s building with steel corner windows and parapet. Shop frontages have been altered. The building does not have heritage value in and of itself but has contextual value within proposed historic cluster.	

Locality map



Fig. 24 Stand 29, Mayfair West is located along the southern side of High Street on the corner of Jason and High Streets adjacent to the Brixton Swimming Pool
(Source: City Council of Johannesburg, GIS Map)

Original plans not available!

Identifying Images



Fig. 25 Two storey commercial mixed use building along the southern side of High Street and corner Jason Street
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Conservation recommended to preserve representative building style in historic cluster. Developments should be in accordance with CMP</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Rehabilitation and upgrade of pavements are recommended</p>
<p>Social Cluster Development Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations Adjacent to social cluster. May result in increased development pressure. Conservation is recommended.</p>

Mixed-use Development	Recommendations
Street falls within a mixed-use development zone with possible extension of mixed use zoning	Existing mixed-use building. Care should be taken with shop fronts, verandas, balconies etc. in accordance with individual site CMP guidelines.

Conservation Management Policies_Grade 3C_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that have contextual significance as part of a historic cluster/ streetscape or are representative of a particular period or architectural school. Where development happens on a grade three site it is recommended that proper documentation of the site is made and in some cases memorialisation considered – such as retention of facades – before demolition and development takes place.

Swot Analysis

Analysis	Result
Strength	Architectural example of 20th century mixed use building on commercial strip The site is in fair to good condition. Site rehabilitation is technically feasible.
Weakness	Insensitive alterations to original shop fronts
Risk/ Threat	The site is located along the commercial spine of High Street in an area of proposed high density development
Strength/Opportunity	Possibility of reconfiguring apartments to achieve greater densities.

Conservation Management Policies_ Commercial sites

Views/Vistas

- Retain views of building
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site falls within recommended historic cluster and any developments should be overseen by a team of heritage professionals

Future Development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – the historic or cultural integrity of the site
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.3.2 Double storey corner mixed-use building_Gabriel Mansions_Mayfair West_Stand 48

Address	82 High Street cnr Indra
Stand no.	48
Current zoning	Business 1
Year of erection	1938/9
Architect	C. Wallace
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3C
Site description	
Two storey, yellow face brick, mixed-use corner building with retail on street level and residential on first storey. The building is part of a collection of two similar buildings along High Street. Of the two buildings this is the better example as it retains the original façade with brick detailing, stylised iron railing and building name. The building does not have heritage value in and of itself but has contextual value within the streetscape. The building carries the name of the original owner E. Gabriel.	

Locality map

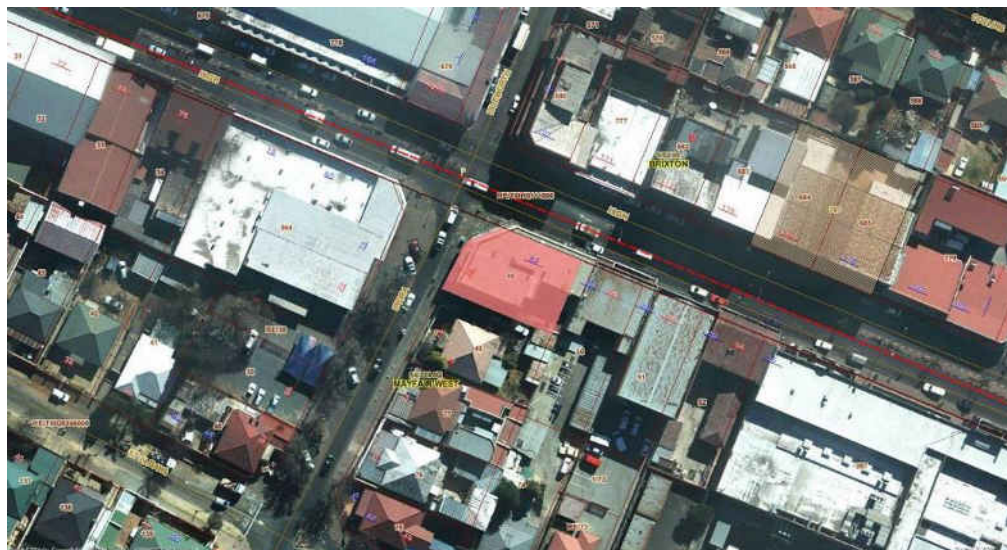


Fig. 26 Stand 48 is located along the southern side of High Street on the corner of High and Indra Street (Source: City Council of Johannesburg, GIS Map)

Original plan for Stand 48

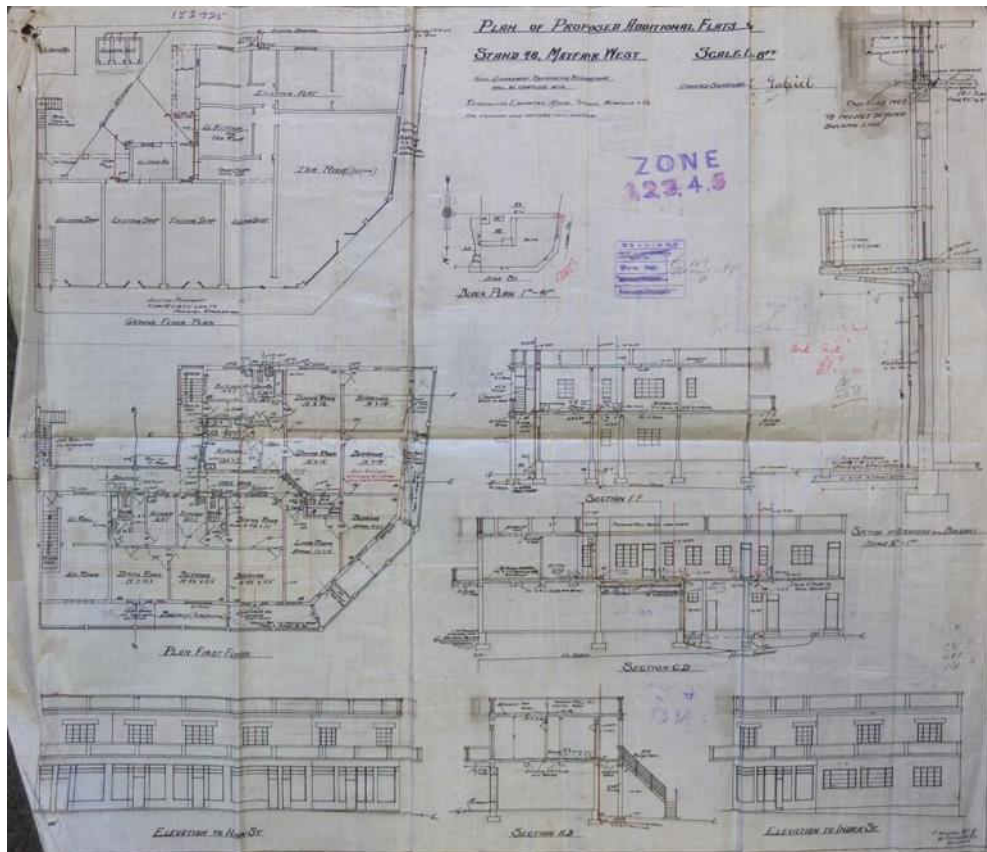


Fig. 27 Building plans for Stand 48
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 28 Two storey commercial mixed use building along the southern side of High Street
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Conservation recommended to preserve representative building style. Developments should be in accordance with CMP.</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Rehabilitation and upgrade of pavements are recommended.</p>
<p>Social Cluster Development Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations In proximity to social cluster. May result in increased development pressure. Conservation is recommended.</p>
<p>Mixed-use Development Street falls within a mixed-use development zone with possible extension of mixed use zoning</p>	<p>Recommendations Existing mixed-use building. Care should be taken with shop fronts, verandas, balconies etc. in accordance with individual site CMP guidelines.</p>

Conservation Management Policies_Grade 3C_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that have contextual significance as part of a historic cluster/ streetscape or are representative of a particular period or architectural school. Where development happens on a grade three site it is recommended that proper documentation of the site is made and in some cases memorialisation considered – such as retention of facades – before demolition and development takes place.

Swot Analysis

Analysis	Result
Strength	Architectural example of 20th century mixed use building on commercial strip The site is in fair to good condition. Site rehabilitation is technically feasible
Weakness	Insensitive alterations to original shop fronts
Risk/ Threat	The site is located along the commercial spine of High Street in an area of proposed high density development
Strength/Opportunity	Possibility of reconfiguring apartments to achieve greater densities

Conservation Management Policies_ Commercial sites

Views/Vistas

- Retain views of building
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Investment in building maintenance to retain significance

Future Development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – the historic or cultural integrity of the site
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.3.3 Three storey commercial mixed-use building_Mayfair West_Stand 78

Address	100 High Street cnr Fortuna Street
Stand no.	78
Current zoning	Business 1
Year of erection	1932, additional floor 1939
Architect	C. Wallace, 1971 alterations by J.C. Cook & Cowen Architects
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3C
Site description	
<p>Three storey, yellow face brick, mixed-use corner building with retail on street level and residential on first and second levels. The building is part of a collection of two similar buildings along High Street. The building does not have heritage value in and of itself but has contextual value within the streetscape. Significance of the building has been compromised due to insensitive alterations and additions. The building was built for V. Catsikos.</p>	

Locality map



Fig. 29 Stand 78 is located along the southern side of High Street on the corner of High and Fortuna Streets

(Source: City Council of Johannesburg, GIS Map)

Original plans for Stand 78

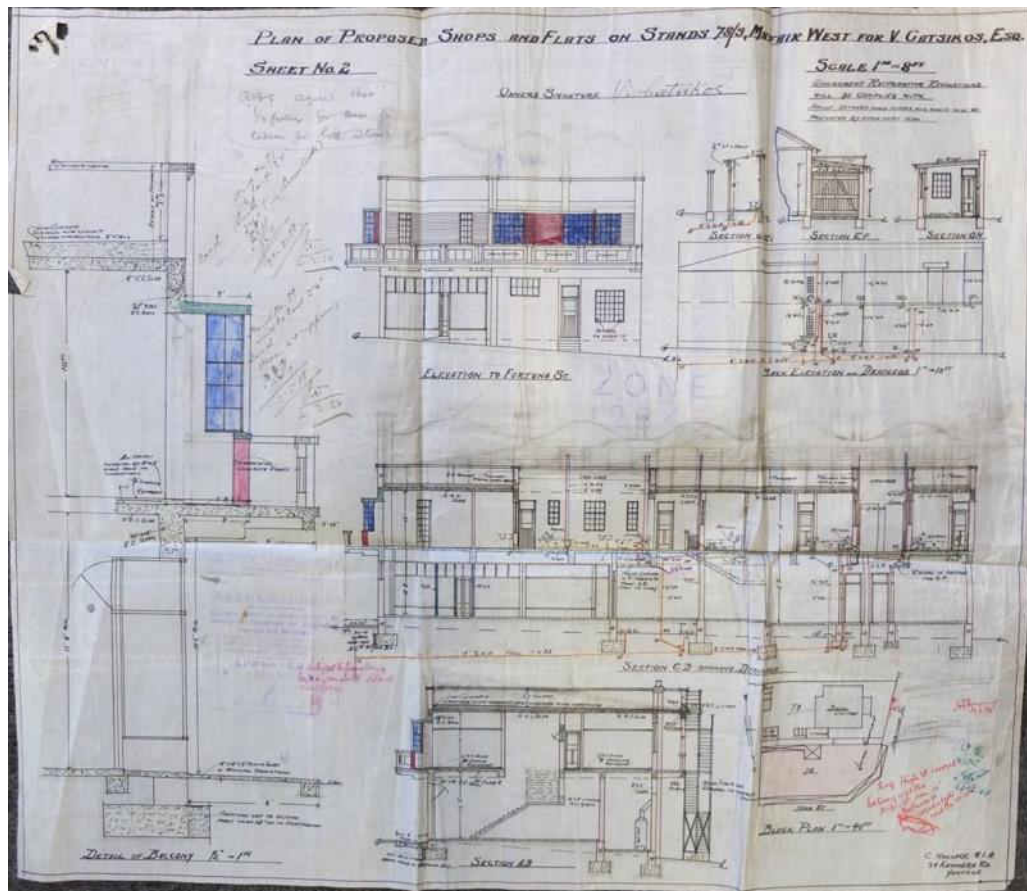


Fig. 30 Plans of proposed shops and flats on Stand 78/9, plan shows site plan, sections and elevations

(Source: City Council of Johannesburg, Plans Archive)

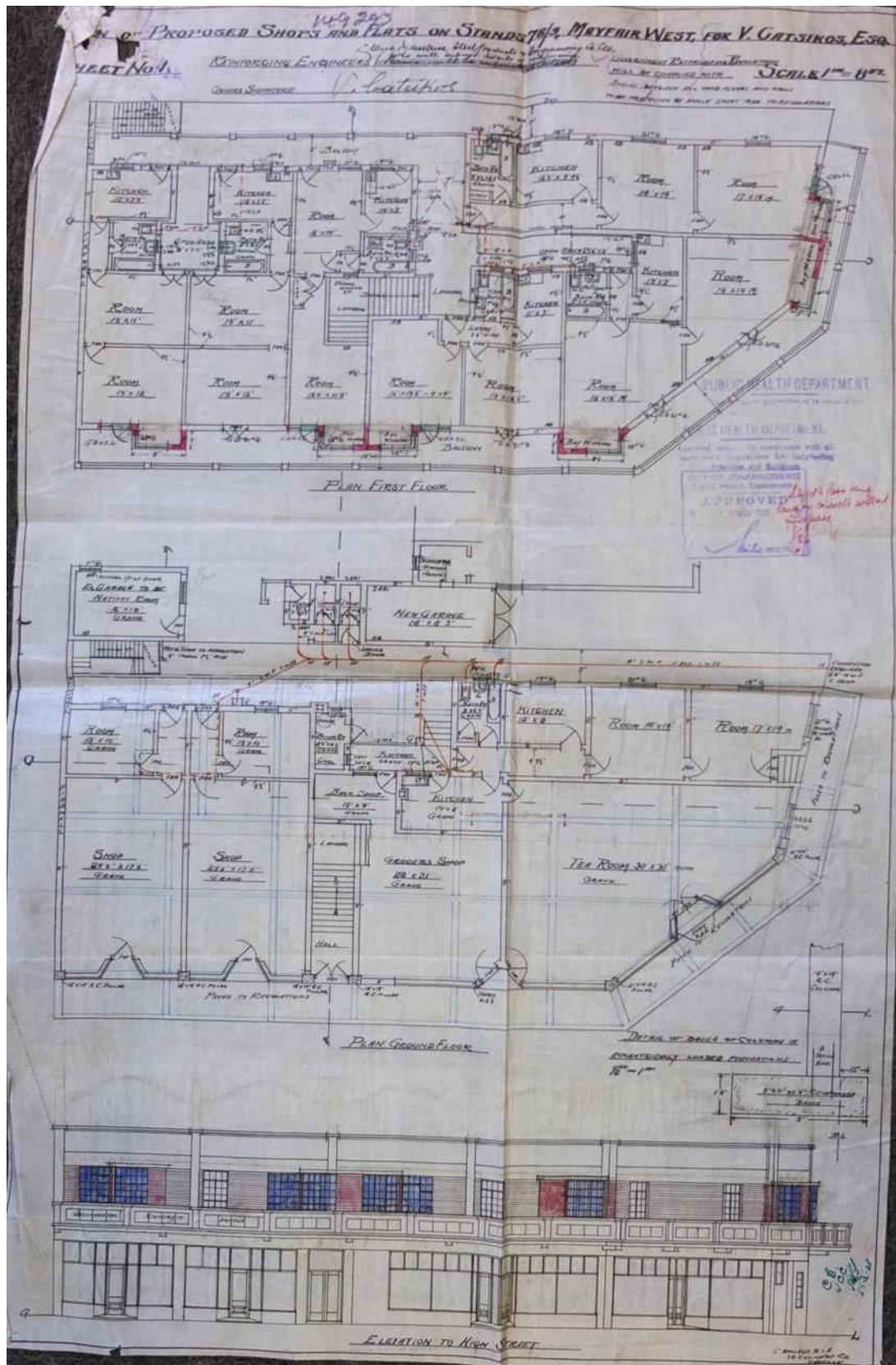


Fig. 31 Proposed plan for shops and flats, plan shows floor plan and street elevation (Source: City Council of Johannesburg, Plans Archive)

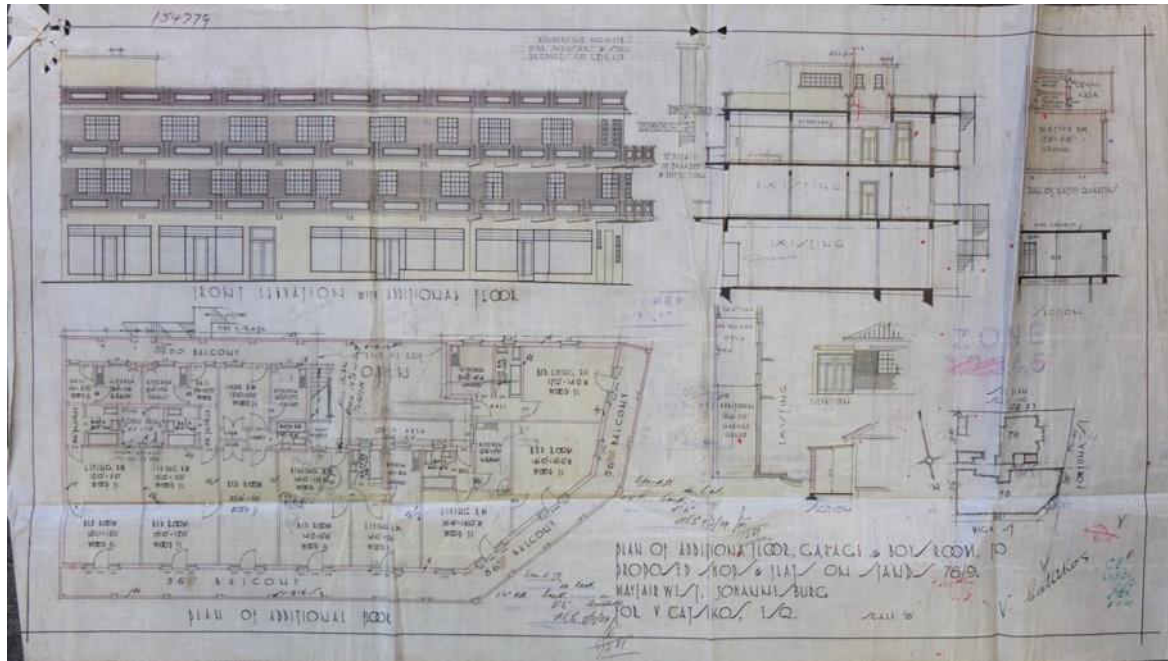


Fig. 32 Plan for additional floor, garage and boys room
(Source: City Council of Johannesburg, Plans Archive)

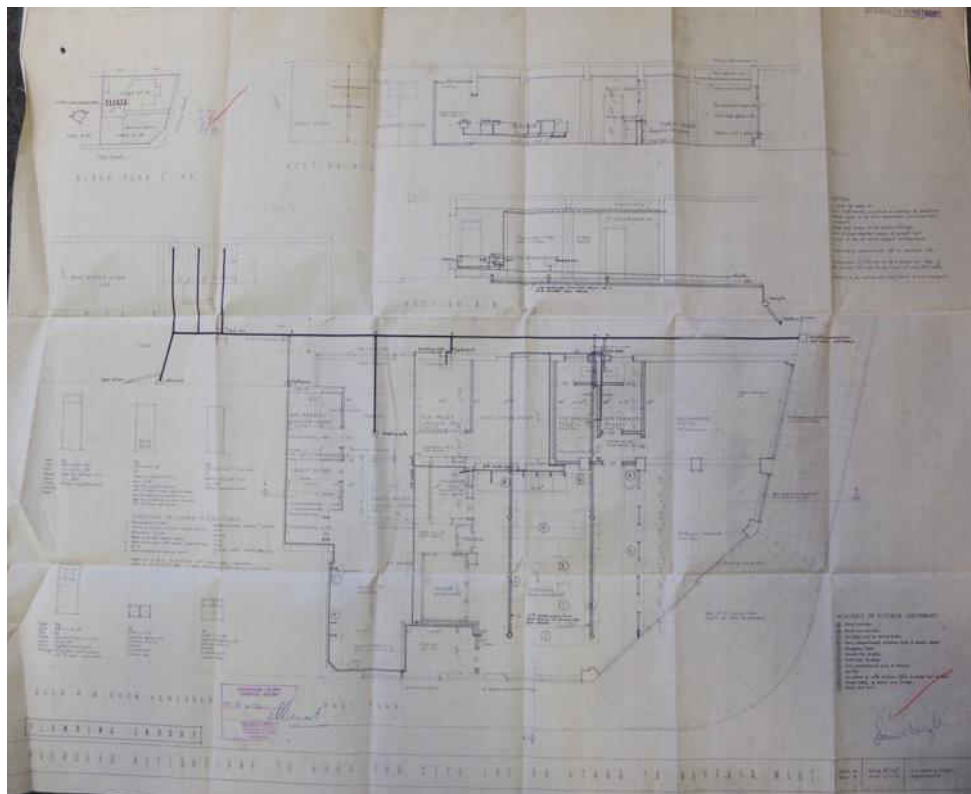


Fig. 33 Plan for alterations by J.C. Cook & Cowen Architects from 1971
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 34 Three storey commercial mixed use building along the southern side of High Street
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Conservation recommended to preserve representative building style. Developments should be in accordance with CMP.</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Rehabilitation and upgrade of pavements are recommended</p>
<p>Social Development Cluster Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations In proximity to social cluster. May result in increased development pressure. Conservation is recommended.</p>

<p>Mixed-use Development Street falls within a mixed-use development zone with possible extension of mixed use zoning</p>	<p>Recommendations Existing mixed-use building. Care should be taken with shop fronts, verandas, balconies etc. in accordance with individual site CMP guidelines.</p>
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Conservation Management Policies_Grade 3C_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that have contextual significance as part of a historic cluster/ streetscape or are representative of a particular period or architectural school. Where development happens on a grade three site it is recommended that proper documentation of the site is made and in some cases memorialisation considered – such as retention of facades – before demolition and development takes place.

Swot Analysis

Analysis	Result
Strength	Architectural example of 20th century mixed use building on commercial strip The site is in fair to good condition. Site rehabilitation is technically feasible.
Weakness	Insensitive alterations to original shop fronts Insensitive alterations to façade
Risk/ Threat	The site is located along the commercial spine of High Street in an area of proposed high density development
Strength/Opportunity	Possibility of reconfiguring apartments to achieve greater densities.

Conservation Management Policies_ Commercial sites

Views/Vistas

- Retain views of building
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Investment in building maintenance to retain significance

Future Development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – the historic or cultural integrity of the site
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.3.4 Mixed-use building_Brixton_Stand 680

Address	107 High Street cnr Isleworth Street
Stand no.	680
Current zoning	Business 1
Year of erection	Late 1930s
Architect	Unknown
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3C

Site description

Three storey, red brown face brick, mixed-use corner building on the intersection of High and Isleworth streets. Together with Gabriel Mansions on the opposite side of the intersection, it creates a strong streetscape quality along High Street. The building does not have heritage value in and of itself but has contextual value within the streetscape.

Locality map

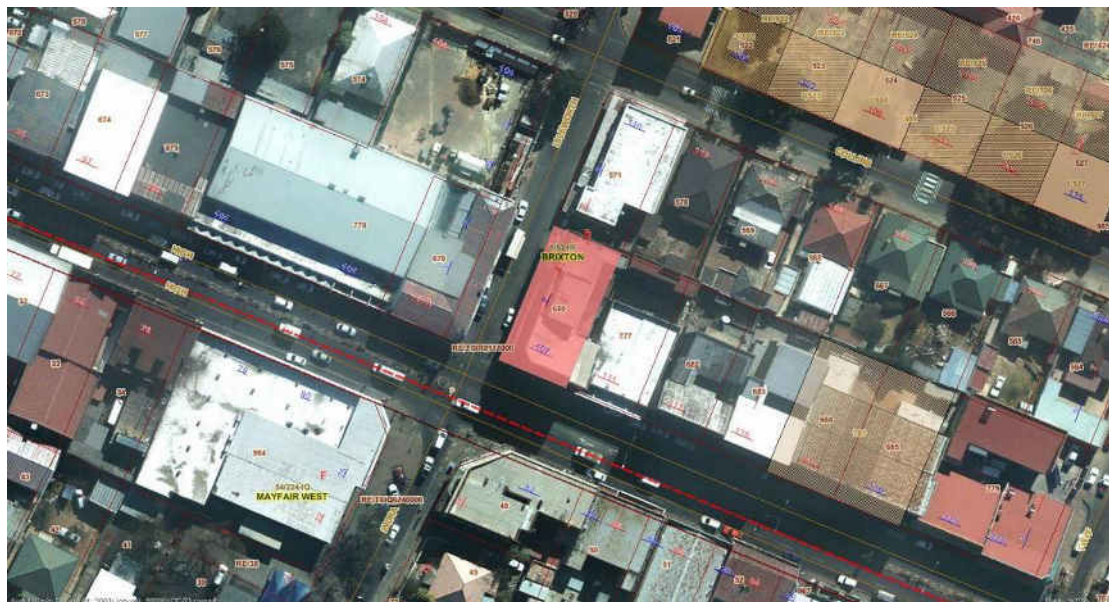


Fig. 35 Stand 680 is located along the northern side of High Street on the corner of High and Isleworth Streets

(Source: City Council of Johannesburg, GIS Map)

Original plans not available!

Identifying Image



Fig. 36 Three storey commercial mixed use building with parapet along the northern side of High Street.

(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Conservation recommended to preserve representative building style. Developments should be in accordance with CMP.</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Rehabilitation and upgrade of pavements are recommended</p>
<p>Social Cluster Development Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations In proximity to social cluster. May result in increased development pressure. Conservation is recommended.</p>

Mixed-use Development	Recommendations
Street falls within a mixed-use development zone with possible extension of mixed use zoning	Existing mixed-use building. Care should be taken with shop fronts, verandas, balconies etc. in accordance with individual site CMP guidelines.

Conservation Management Policies_Grade 3C_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that have contextual significance as part of a historic cluster/ streetscape or are representative of a particular period or architectural school. Where development happens on a grade three site it is recommended that proper documentation of the site is made and in some cases memorialisation considered – such as retention of facades – before demolition and development takes place.

Swot Analysis

Analysis	Result
Strength	Architectural example of 20th century mixed use building on commercial strip The site is in fair to good condition. Site rehabilitation is technically feasible.
Weakness	Insensitive alterations to original shop fronts Insensitive alterations to façade
Risk/ Threat	The site is located along the commercial spine of High Street in an area of proposed high density development
Strength/Opportunity	Possibility of reconfiguring apartments to achieve greater densities.

Conservation Management Policies_ Commercial sites

Views/Vistas

- Retain views of building
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Investment in building maintenance to retain significance

Future Development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – the historic or cultural integrity of the site
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.3.5 Three storey commercial mixed-use building_Brixton_Stand 767

Address	125 High Street cnr Twyf
Stand no.	767
Current zoning	Business 1
Year of erection	1949
Architect	Unknown
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3C
Site description	
Brown face brick, mixed-use corner building built for Messrs. Bardell Pty Ltd in the modernist style on the intersection of High and Twyf Streets. The building has typical cubist forms of the period with unadorned façade with steel windows. The building does not have heritage value in and of itself but has contextual value within the streetscape.	

Locality map



Fig. 37 Stand 767 is located along the northern side of High Street on the corner of High and Twyf Streets

(Source: City Council of Johannesburg, GIS Map)

Original plan for Stand 767, Brixton

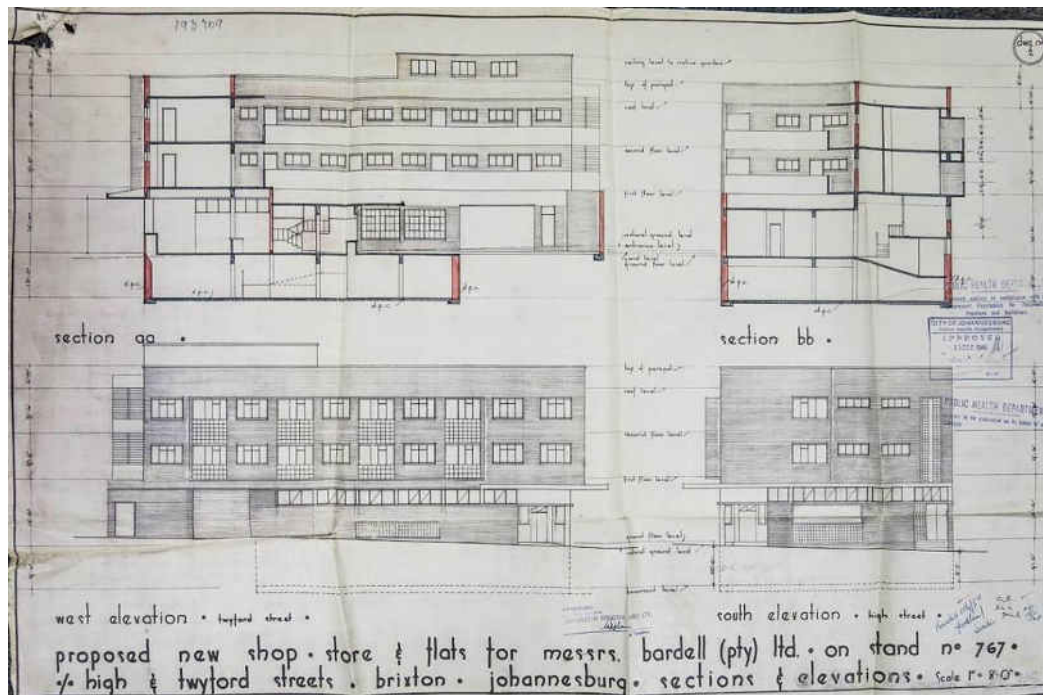


Fig. 38 Plans of west and south elevations
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image

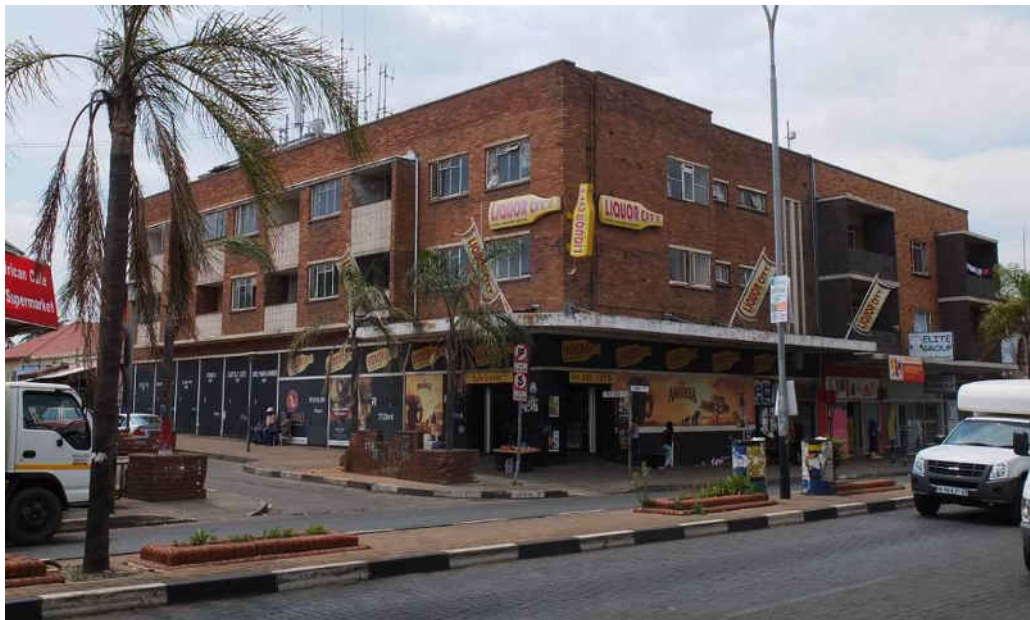


Fig. 39 Three storey commercial mixed use building along the northern side of High Street.
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Conservation recommended to preserve representative building style. Developments should be in accordance with CMP.</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Rehabilitation and upgrade of pavements are recommended</p>
<p>Social Cluster Development Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations In proximity to social cluster. May result in increased development pressure. Conservation is recommended.</p>
<p>Mixed-use Development Street falls within a mixed-use development zone with possible extension of mixed use zoning</p>	<p>Recommendations Existing mixed-use building. Care should be taken with shop fronts, verandas, balconies etc. in accordance with individual site CMP guidelines.</p>

Conservation Management Policies_Grade 3C_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that have contextual significance as part of a historic cluster/ streetscape or are representative of a particular period or architectural school. Where development happens on a grade three site it is recommended that proper documentation of the site is made and in some cases memorialisation considered – such as retention of facades – before demolition and development takes place.

Swot Analysis

Analysis	Result
Strength	Architectural example of 20th century mixed use building on commercial strip The site is in fair to good condition. Site rehabilitation is technically feasible.
Weakness	Insensitive alterations to original shop fronts
Risk/ Threat	The site is located along the commercial spine of High Street in an area of proposed high density development
Strength/Opportunity	Possibility of reconfiguring apartments to achieve greater densities.

Conservation Management Policies_ Commercial sites

Views/Vistas

- Retain views of building
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Investment in building maintenance to retain significance

Future Development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – the historic or cultural integrity of the site
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.3.6 Single storey corner shop_Angela Supermarket_Brixton_Stand 404

Address	148 Caroline Street cnr of Wimbledon
Stand no.	404
Current zoning	Business 1
Year of erection	1920s
Architect	Unknown
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
Site description	
East facing corner shop on southern section of Caroline Street with parapet walls and roofed canopy. It has a characteristic splayed entrance corner with gable above – typical of corner shops from the period. Corner shop lends great charm to streetscape and is in reasonably good condition.	

Locality map



Fig. 40 Stand 404 is located on the south-western corner of Caroline and Wimbledon Streets (Source: City Council of Johannesburg, GIS Map)

Original plans not available!

Identifying Image



Fig. 41 Single storey corner shop building with corrugated iron veranda roofing and parapet wall above
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys</p>	<p>Recommendations Building is recommended for conservation. Adjacent development to be limited to one storey height increase.</p>
<p>Transport NMT priority</p>	<p>Recommendations NMT upgrades should be undertaken with due care to shop front and canopy.</p>
<p>Social cluster development</p>	<p>Recommendations Not applicable.</p>
<p>Mixed-use development Mixed use zoning</p>	<p>Recommendations Existing height zone to be retained</p>

Conservation Management Policies_Grade 3A_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Low rise 3A commercial buildings have traditionally been vulnerable to rezoning and/or redevelopment. Representative 3A examples should therefore be guarded. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot analysis

Analysis	Result
Strength	Architectural example of 20th century low rise corner shop The site is in fair to good condition. Site restoration/rehabilitation is technically feasible. Canopy intact
Weakness	Insensitive alterations to original shop front
Risk/ Threat	The site is located along an important route in an area of proposed medium density development
Strength/Opportunity	Historic retail function can be retained however site lends itself to other commercial uses as well

Conservation Management Policies_Commercial sites

Views/Vistas

- Retain views of an aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage building
- Maintain building heights around the site

Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the building if alterations are considered

- If additions or alterations are to be made to the building structure contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historic structures and the introduction of new buildings on site or near the site

Future development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – its historic or cultural integrity

7.3.7 Single storey corner shop_Stand 117

Address	166 Caroline Street cnr Chiswick
Stand no.	117
Current zoning	Residential 1
Year of erection	1926
Architect	Unknown
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
Site Description	
West facing corner shop on southern section of Caroline Street with parapet walls, corrugated iron roof and roofed canopy. It has a characteristic splayed entrance corner. This is a good example of door and window frames still extant. Corner shop lends great charm to streetscape and is in reasonably good condition.	

Locality map



Fig. 42 Stand 2/117 is located on the south-eastern corner of Caroline and Chiswick Streets (Source: City Council of Johannesburg, GIS Map)

Original plan for Stand 117, Brixton

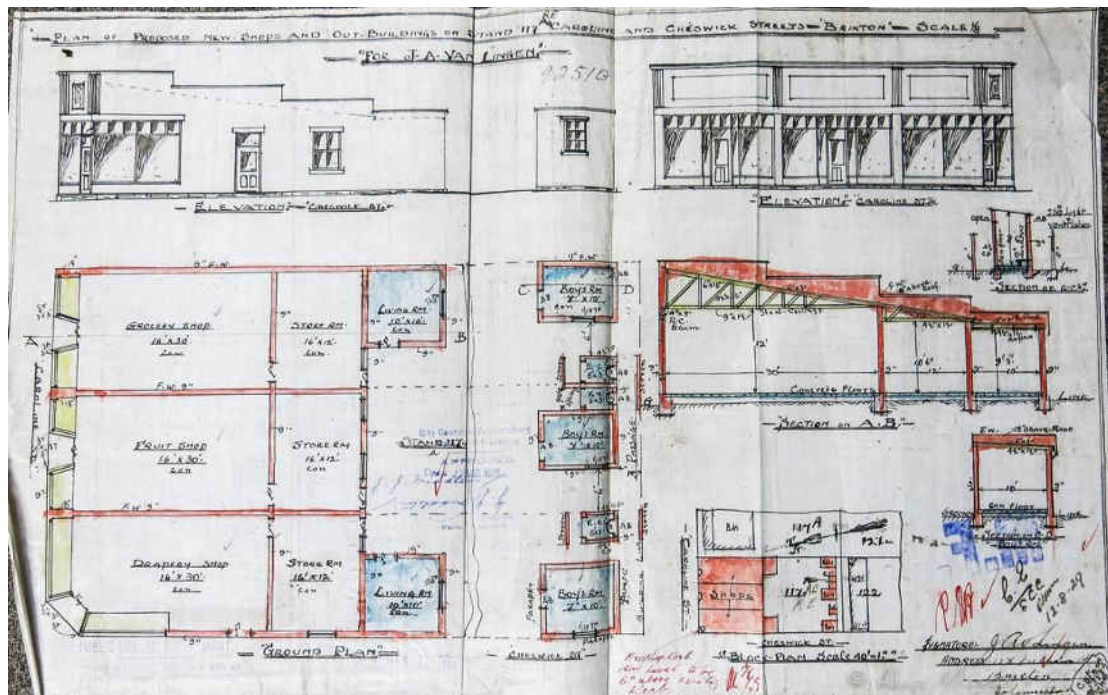


Fig. 43 Architectural details showing three shop fronts
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 44 Single storey corner shop building with corrugated iron veranda roofing and parapet wall above
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

Densities Medium (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys	Recommendations Building is recommended for conservation. Adjacent development to be limited to one storey height increase.
Transport NMT priority	Recommendations NMT upgrades should be undertaken with due care to shop front and canopy.
Social development cluster	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height zone to be retained

Conservation Management Policies_Grade 3A_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Low rise 3A commercial buildings have traditionally been vulnerable to rezoning and/or redevelopment. Representative 3A examples should therefore be guarded. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot analysis

Analysis	Result
Strength	Architectural example of 20th century low rise corner shop The site is in fair to good condition. Site restoration/rehabilitation is technically feasible Canopy intact Original shop front fittings and materials in tact

Weakness	Fragile state of canopy
Risk/ Threat	The site is located along an important route in an area of proposed medium density development
Strength/Opportunity	Historic retail function can be retained however site lends itself to other commercial uses as well

Conservation Management Policies_ Commercial sites

Views/Vistas

- Retain views of an aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage building
- Maintain building heights around the site

Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the building if alterations are considered
- If additions or alterations are to be made to the building structure contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historic structures and the introduction of new buildings on site or near the site

Future development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – its historic or cultural integrity

7.3.8 Single storey corner shop_Feinstein (Grade 2)_Brixton_Stand 85

Address	143 Fulham Road cnr Wimbledon
Stand no.	85
Current zoning	Residential 1
Year of erection	1904/1905
Architect	Unknown
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history; (b) its possession of uncommon, rare or endangered aspects of South Africa's natural or cultural heritage;
Existing SAHRA Grading	2
Proposed SAHRA Grading	2
Site description	
<p>Prefabricated wood-and-iron structures such as this shop-cum-residence erected for Joseph Feinstein in 1904 was a standard feature in early Johannesburg. A second structure – a typical Victorian residence – was planned for this site but never completed. The front door cuts across the corner of the structure while woodwork canopies and a veranda protect the windows and side entrance from the elements. The front corner room served as the shop with the domestic quarters to the back. A packing room was situated adjacent to the shop space. This rare surviving example of a Victorian shop was carefully restored in the early 1980s and subsequently declared a National Monument – unique at the time for a working class suburb. The site is today a Provincial Heritage Site.</p>	

Locality map



Fig. 45 Stand 85 is located on the north-eastern corner of Fulham Road and Wimbledon Street (Source: City Council of Johannesburg, GIS Map)

Original plan for Stand 85, Brixton

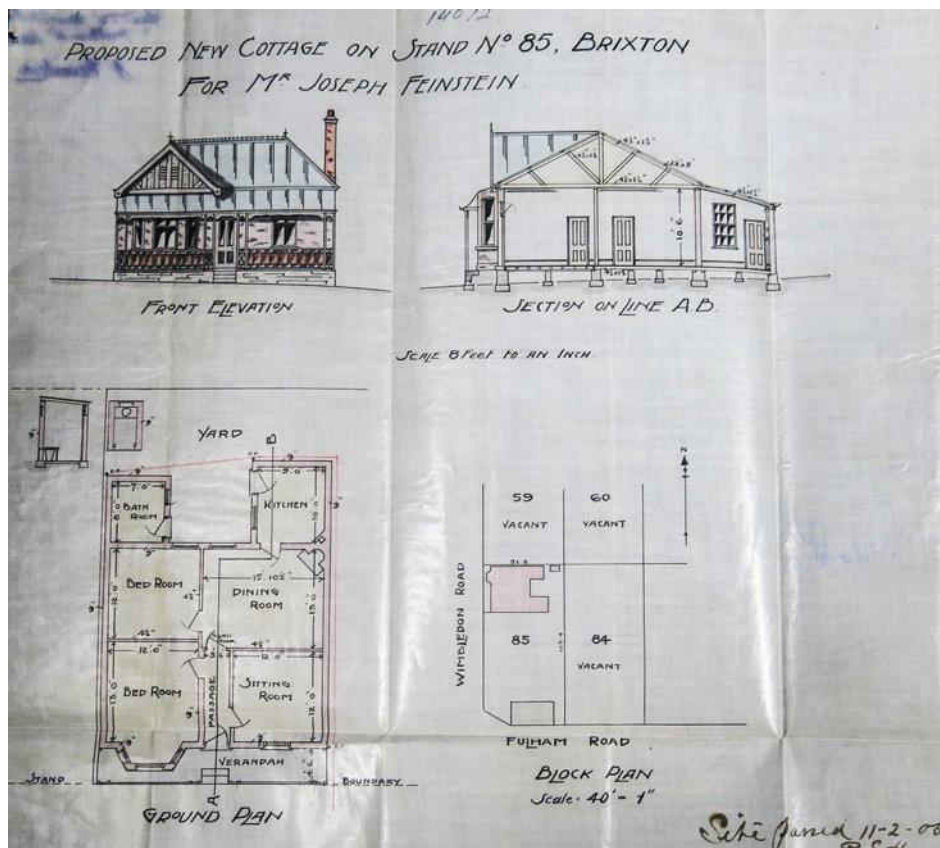


Fig. 46 Proposed new cottage on Stand 85, Brixton for Joseph Feinstein (Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 47 Western elevation along the eastern side of Wimbledon Street
(Source: tsica heritage consultants, 2015)



Fig. 48 Southern elevation along the northern side of Fulham Road
(Source: tsica heritage consultants, 2015)



Fig. 49 Former National Monuments Council plaque
(Source: tsica heritage consultants, 2015)

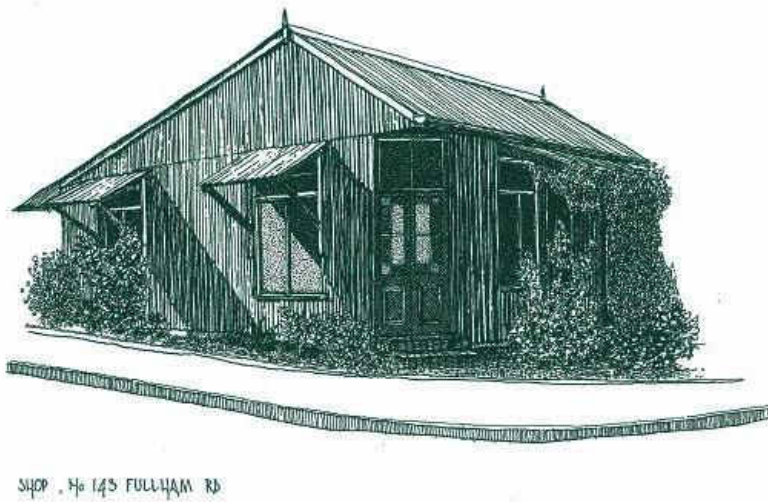


Fig. 50 Shop No 143 Fulham Road, drawing by Eric Brindeau
(Source: Eric Brindeau, 1991)

Impact of proposed development plan & recommendations

Densities In proximity to new height zones of medium densities (100 – 160 dph) of 4 to 6 storeys with minimum of 4 storeys	Recommendations Building is accorded special protection. Adjacent developments to be limited to one storey height increase and will necessitate PHRA_G approval.
Transport NMT priority	Recommendations NMT upgrades should be undertaken with due care to structure and views of structure.
Social development cluster	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height zone to be retained.

Conservation Management Policies_Grade 2_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. Detailed CMPs are generally required for Grade 2 heritage sites and the preparation of such a CMP must be overseen by the PHRA_G.

The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Low rise commercial buildings have traditionally been vulnerable to rezoning and/or redevelopment. Representative Grade 2 examples should therefore be conserved and protected. Any changes or site redevelopment will require a detailed HIA to be overseen by heritage specialists.

Swot analysis

Analysis	Result
Strength	Declared Grade 2 site The site is in fair to good condition and allows for full restoration and conservation Original shop front fittings and materials in tact

Weakness	Some insensitive alterations to exterior and interior
Risk/ Threat	The site is located along an important route in an area of proposed medium density development
Strength/Opportunity	Historic retail function can be retained however site lends itself to other commercial uses as well

Conservation Management Policies_ Commercial sites

Views/Vistas

- Retain views of an aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage building
- Maintain building heights around the site

Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the building if alterations are considered
- If additions or alterations are to be made to the building structure contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historic structures and the introduction of new buildings on site or near the site

Future development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – its historic or cultural integrity

7.3.9 Single storey corner shop “Ms. Hong's Shop”_Brixton_Stand 1/81

Address	157 Fulham Road cnr Chiswick
Stand no.	1/81
Current zoning	Residential 4
Year of erection	1916/18
Architect	Unknown
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa’s history
Proposed SAHRA Grading	3C
<p>Site description</p> <p>First registered owner was Mahomed Ali which is indicative of the racially mixed characteristic of the working class suburbs of early 20th century Johannesburg. The corner shop was reserved for a “grocer” with the adjacent shop to the west, a shop for a “draper”. Residential accommodation was towards the northern sections of the building. The colonnaded wrap around stoep was a later addition of the 1920s. The roof is corrugated iron with fire walls between the two shops. During 2016 site redevelopment was approved while allowing for the retention of the façade. The façade continues to hold architectural significance and should be conserved as a 3C site.</p>	

Locality map



Fig. 51 Stand 1/81 is located on the north-western corner of Fulham Road and Chiswick Street (Source: City Council of Johannesburg, GIS Map)

Original plans for Stand 1/81

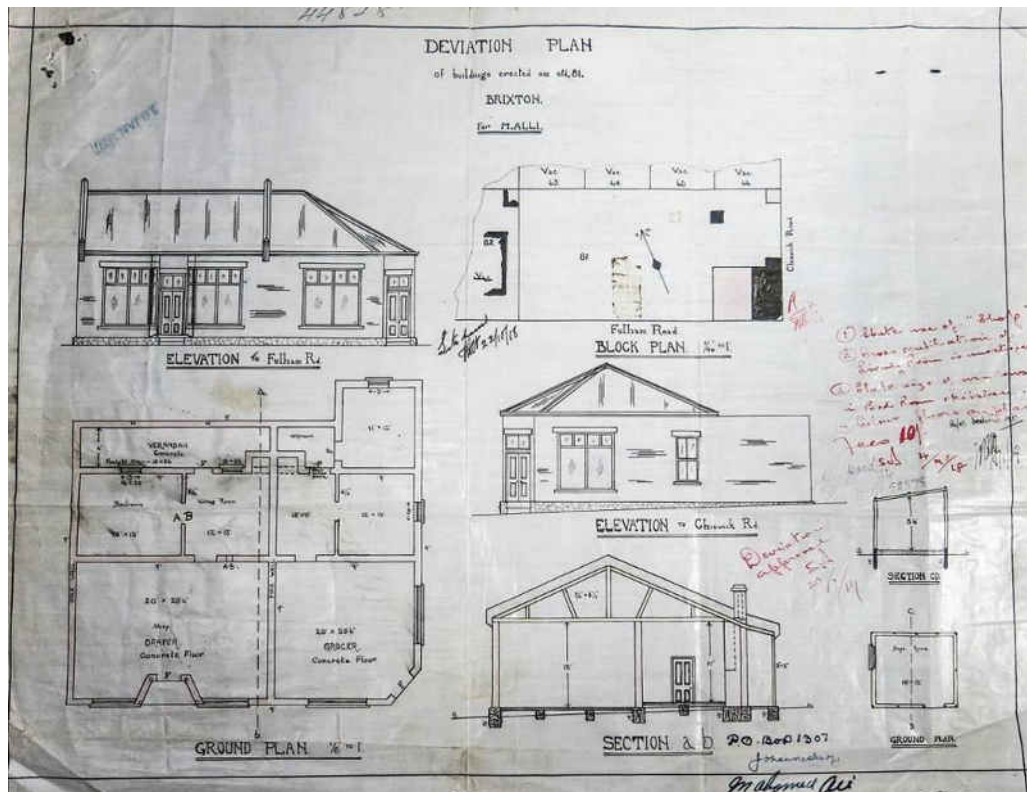


Fig. 52 Proposed original plan for corner shop on Stand 81 from 1918
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 53 Colonnaded corner shop with parapet and pitched corrugated iron roof prior to redevelopment.
(Source: tsica heritage consultants, 2015)



Fig. 54 Redevelopment of site underway_2016
 (Source: tsica heritage consultants, 2016)

Impact of proposed development plan & recommendations

<p>Densities In proximity to new height zones of medium densities (100 – 160 dph) of 4 to 6 storeys with minimum of 4 storeys</p>	<p>Recommendations Building in historic streetscape. Future increased heights should be sensitively handled not to diminish contextual values of Fulham Road.</p>
<p>Transport NMT priority</p>	<p>Recommendations NMT upgrades should be undertaken with due care to façade and views of façade.</p>
<p>Social development cluster</p>	<p>Recommendations Not applicable.</p>
<p>Mixed-use development Mixed use zoning</p>	<p>Recommendations Future increased heights should be sensitively handled not to diminish contextual values of Fulham Road.</p>

Conservation Management Policies_Grade 3C_Commercial sites

Conservation Management Plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or site are earmarked for development. The CMP, consisting of policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. Grade 3C buildings are buildings that have contextual significance as part of a historic cluster/ streetscape or are representative of a particular period or architectural school. Where development happens on a grade three site it is recommended that proper documentation of the site is made and in some cases memorialisation considered – such as retention of facades – before demolition and development takes place.

Swot analysis

Analysis	Result
Strength	Redevelopment of site has retained original façade
Weakness	Significant changes to heights in historic streetscape
Risk/ Threat	Contextual threats arising from development pressures as suburb densifies
Strength/Opportunity	Retention of façade in historic streetscape

Conservation Management Policies_Commercial sites

Views/Vistas

- Retain views of an aesthetically and architecturally significant facade
- Maintain building heights around the site

Fabric and setting

- Retain original façade

Management

- Establish a team of heritage/conservation professionals to oversee future adjacent developments to ensure due care with historic streetscape values

Future development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – its historic or cultural integrity

7.3.10 Single storey original corner shop_“Shop Reid”_Brixton_Stand 59

Address	80 Barnes Road cnr Wimbledon
Stand no.	59
Current zoning	Residential 1
Year of erection	1906
Architect	Unknown
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group
Proposed SAHRA Grading	3A
Site description	
<p>This example of a corner shop was designed in the Edwardian style for R.S. Reid. Similar to earlier Victorian shops, the shop has a corner entrance with high rounded gable and parapet walls with large arched windows. The corner door provided entrance to a smaller store, while a side entrance offered access to a larger storeroom. A third secondary entrance offered direct access to the two-bedroomed domestic quarters. The shop originally had a wrap around corrugated iron veranda that would’ve served as a social, commercial and general gathering space.</p>	

Locality map

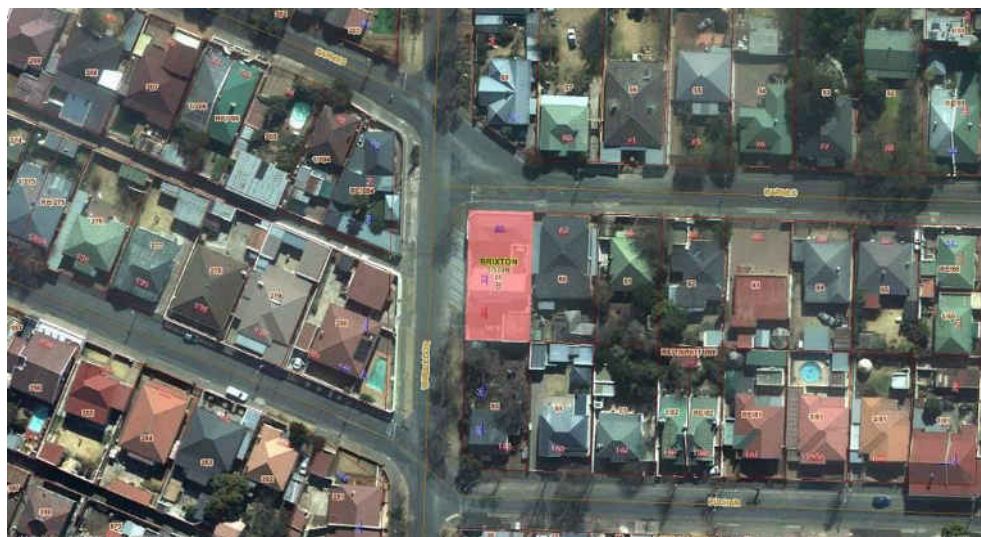


Fig. 55 Stand 59 is located on the south-eastern corner of Barnes Road and Wimbledon Street, (Source: City Council of Johannesburg, GIS Map)

No original plans available!

Identifying Image



Fig. 56 Single storey original corner shop with parapet and pitched corrugated iron roof now used as architectural offices
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan on heritage

Densities Densities remain unaffected	Recommendations Contextual impacts arising from densification of suburb in general and hence potential development pressure on area in general
Transport NMT priority	Recommendations NMT upgrades should be undertaken with due care to building
Social cluster development	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height of building to be retained

Conservation Management Policies_Grade 3A_Commercial sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risk or threat of the site. 3A commercial buildings are already in a position where there is a lot of change and movement because of the nature of businesses that are usually carried out in these spaces. Because of their importance in local heritage they are recommended for conservation and any changes done should be highly monitored by heritage specialists.

Swot analysis

Analysis	Result
Strength	The building is in excellent condition and is a landmark corner shop
Weakness	Original street canopy has been lost
Risk/ Threat	Contextual threats arising from development pressures as suburb densifies
Strength/Opportunity	Site is adjacent to declared Grade 2 site

Conservation Management Policies_Commercial sites

Views/Vistas

- Retain views of an aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage building
- Maintain building heights around the site

Fabric and setting

- Retain and restore all the original materials, doors, window panels and other original features of the building if alterations are considered

- If additions or alterations are to be made to the building structure contrasting modern materials to be used according to conservation principles

Management

- Establish a team of heritage/conservation professionals to oversee the restoration of historic structures and the introduction of new buildings on site or near the site

Future development

- Adaptively re-use the building in a manner that will not diminish – and will ideally enhance – its historic or cultural integrity

7.4 Identified sites of significance_Institutions within Brixton Precinct (Schools, Rec Centres, Libraries, Sporting)

Introduction

A detailed visual survey was done in the area and various institutions listed below were identified as having historic, architectural and/or social significance. Few of the sites have well-documented histories which provides opportunity for further research. Most are in fair to good condition with their integrity and character having been preserved more or less intact. Both public and privately owned institutions have been left vulnerable to neglect and urban decline.

Grading

3A_Buildings that have a highly significant association with a historic organisation, person, social grouping, event/s, public memories, activities or that are historic landmarks (should be conserved and enhanced).

3B_ Buildings of marginally lesser significance for example where there have been alterations made but the site still meets the other criteria of 3A sites (sensitive alteration and additions to the interior allowed on approval).

3C_Buildings where the significance is in large part based on setting and contextual relationships in so far as these contribute to the character or significance of the surrounding environs including landscapes, streetscapes, townscapes or areas (possibility of sensitive alteration and addition to the interior/exterior).

Summary Table of identified sites in the institutional category:

Site/ stand no.	Description	Provisional Grading	Heritage implications
959	Saint Albans Avenue_Primary school hybrid building _Mayfair West_ Stand 959	3A	Conservation highly recommended
46	High Street_Brixton Police Station_Crosby_Stand 46	3A	Conservation highly recommended
1	Brixton library - single storey, low pitched roof, typical public building of 1940s	3C	Possible major changes, documentation necessary
17	Brixton municipal swimming pool built in the Art Deco style	3A	Conservation highly recommended

Site/ stand no.	Description	Provisional Grading	Heritage implications
376	Brixton scout hall - single storey, pitched roof, face brick building from mid-1920s	3A	Conservation highly recommended
RE/424, 425, 426, 427, 428	Brixton school - Edwardian	3A	Conservation highly recommended
398	Boys Club	3A	Conservation highly recommended
320, 319, 318, 317	Brixton recreation centre, designed by Harold Porter, two-storey plastered with pitched roof	3A	Conservation highly recommended

7.4.1 Saint Albans Avenue_Primary school hybrid building _Mayfair West_ Stand 959

Address	29 Jason Street cnr. Saint. Albans Ave
Stand no.	959
Current zoning	Residential 1
Year of erection	Original construction date unknown, chapel extension dates to c. 1938, a new church hall was built in 1975
Architect	Original architect unknown. Danie Brink was architect of the 1975 hall.
Heritage significance	Architectural/ cultural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
Site description	
<p>This hybrid building consists of a chapel building of the Apostolic Faith Mission of South Africa. During 1938 the chapel was extended. The chapel has typical gothic windows with supporting buttresses and pitched corrugated iron roof. The date of construction of the new front façade is however unclear. The west facing addition is yellow face brick on black face brick plinth, flat roof structure and steel frame windows. The chapel has a typical pitch roof of corrugated iron. Both buildings are in good condition. A church hall was added to the east of the site in 1975.</p>	

Locality Map



Fig. 57 Stand 959 is located on the north-western corner of Jason and Saint Albans Ave (Source: City Council of Johannesburg, GIS Map)

Original plan

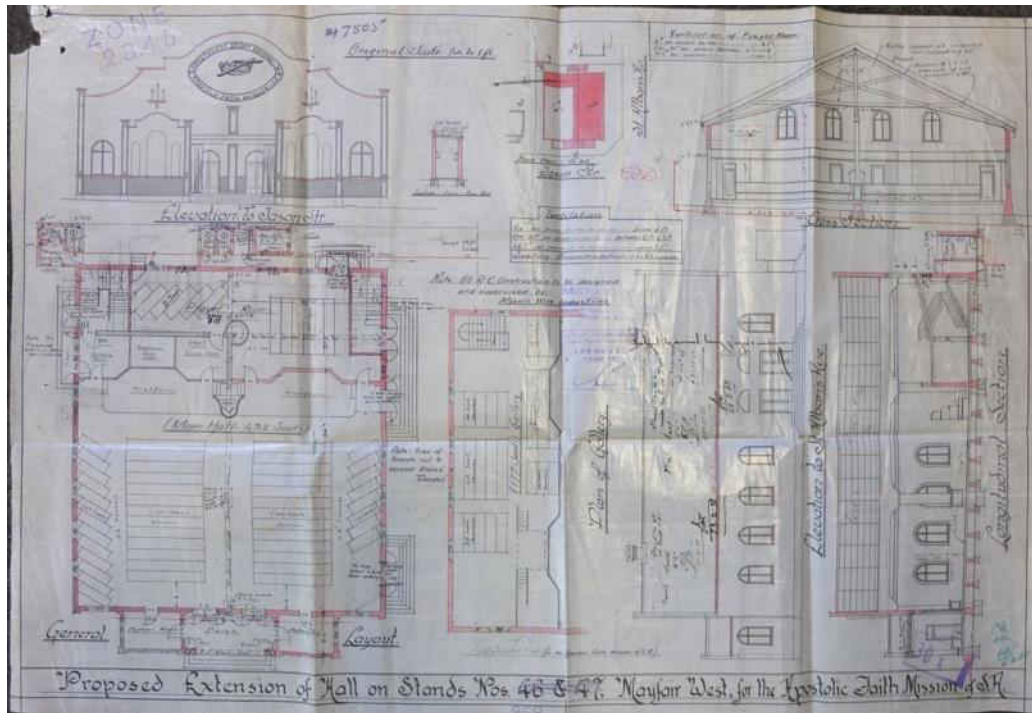


Fig. 58 Plans for extension of Church Hall dated 1938
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 59 West facing front façade of three storey yellow face brick with steel windows and black face brick plinth
(Source: tsica heritage consultants, 2015)



Fig. 60 Southern section of chapel showing gothic windows and buttresses
(Source: tsica heritage consultants, 2015)



Fig. 61 Southern façade of joined buildings
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Conservation recommended to preserve representative building style in historic cluster. Care to be taken to retain streetscape values of Jason Street Developments should be in accordance with CMP</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Rehabilitation and upgrade of pavements are recommended</p>
<p>Social Cluster Development Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations Adjacent to social cluster. May result in increased development pressure. Conservation is recommended.</p>
<p>Mixed-use Development Street falls within a mixed-use development zone with possible extension of mixed use zoning</p>	<p>Recommendations Mixed-use potential however care should be taken with maintaining original façade and fittings.</p>

Conservation Management Policies_Grade 3A_Institutional Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A institutional buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	Architectural example of hybrid building incorporating different architectural styles Located in proposed historic cluster The building is in fair to good condition
Weakness	Vulnerability arising from use change
Risk/ Threat	The site is located in proximity of an area of proposed high density development which may result in contextual values being altered in addition to the site
Strength/Opportunity	Possibility of reconfiguring apartments to achieve greater densities.

Conservation Management Policies_ Institutional sites

Views/Vistas

- Retain views of building
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site falls within recommended historic cluster and any developments should be overseen by a team of heritage professionals

Future Development

- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.4.2 High Street_Brixton Police Station_Crosby_Stand 46

Address	High & Mercury Streets
Stand no.	46
Current zoning	Government
Year of erection	Unknown
Architect	Unknown
Heritage significance	Historic
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
Site description	
<p>The Brixton Police Station was – together with the Brixton Murder & Robbery Unit – a notorious site of brutality, particularly during the latter years of apartheid which also witnessed the emergence of the Civil Cooperation Bureau – founding members having been closely associated with both Brixton SAPS and the Murder & Robbery Unit. While the building has little architectural merit, the site does have associations with the country's political history and human rights abuses. This history has not been fully researched and requires further investigations.</p>	

Locality Map



Fig. 62 Stand 46 Crosby is located on the south-western corner of High and Mercury (Source: City Council of Johannesburg, GIS Map)

Original plans not available!

Identifying Image



Fig. 63 Photo of Brixton SAPS taken from east along Mercury Street
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys	Recommendations Site not earmarked for redevelopment. Should the site in future be redeveloped it is recommended that a full site history be completed to investigate intangible elements – particularly associations with apartheid era abuses. Based on further investigations, memorialisation of victims of apartheid era abuses should be considered.
Transport Planned future Public Transport link NMT Routes	Recommendations Not applicable.

Social Development Social cluster development at Brixton Park, Library & Sports Fields	Cluster	Recommendations Possibility for incorporation with social/historical cluster once further investigations have been completed.
Mixed-use Development Street falls within a mixed-use development zone with possible extension of mixed use zoning		Recommendations Not applicable.

Conservation Management Policies_Grade 3A_Institutional Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A institutional buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	Located adjacent to proposed historic cluster The building is in a good condition
Weakness	Full institutional history not completed. Intangible elements require further research
Risk/ Threat	The site is located in proximity of an area of proposed high density development which may result in contextual values being altered in addition to the site
Strength/Opportunity	Opportunity to memorialisation victims of apartheid era abuses in Brixton connected with the Brixton Police Station & the Brixton Murder & Robbery Unit

Conservation Management Policies_Institutional sites

Views/Vistas

- Not applicable

Fabric and Setting

- Further research required into intangible associations with apartheid era abuses and whether any historic fabric relating to this history may still be extant

Management

- Site falls adjacent to recommended historic cluster and provides opportunity for potential memorialisation

Future Development

- Any future developments to be undertaken once further investigations into the role of the station in respect of apartheid era abuses have been completed
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.4.3 Single pitched roof building_Brixton library_Mayfair West_Stand 1

Address	4 High Street cnr Mercury Street
Stand no.	1
Current zoning	Public Open Space
Year of erection	1949
Architect	City Engineering Department
Heritage significance	Social
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3C
Site description	
Single storey, low pitched, slate tiled building with wide roof overhang for sun protection. Typical public building design for the late 1940s which is found in almost every suburb of Johannesburg built before and during this period.	

Locality map



Fig. 64 Stand 1 is located on the south-eastern corner of High and Mercury Street (Source: City Council of Johannesburg, GIS Map)

Original plans for Stand 1_Mayfair West

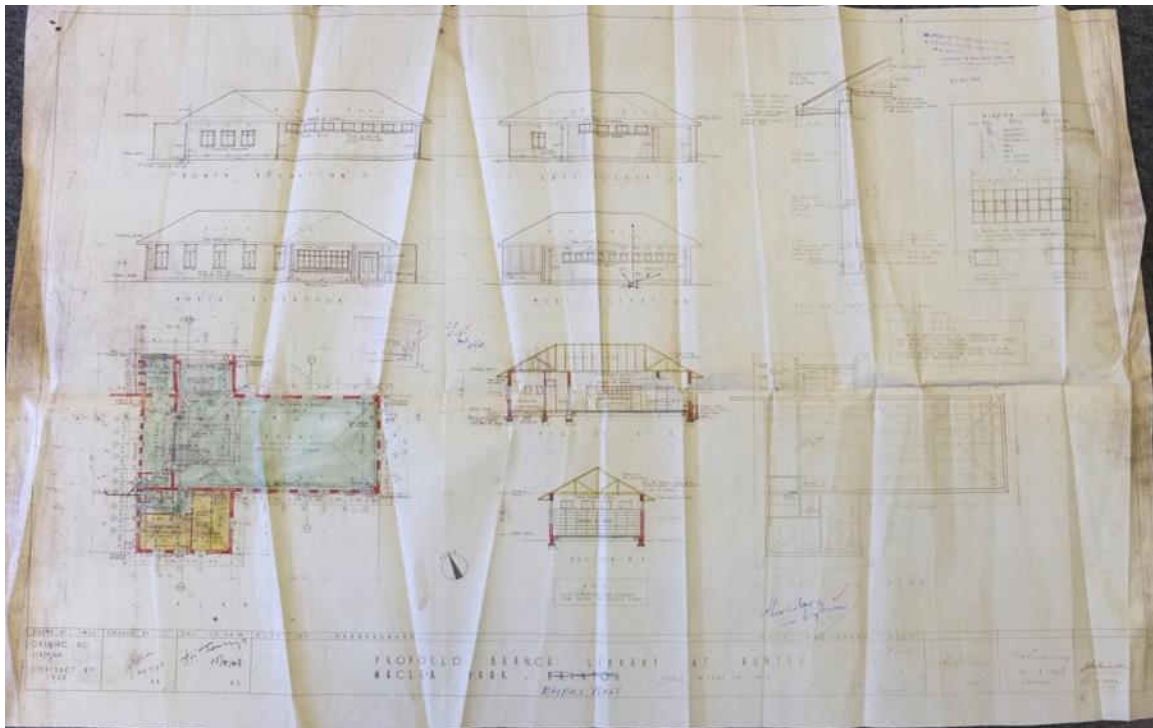


Fig. 65 Proposed Branch Library at Hunter Maclea Park, Mayfair West, plan shows floor plan, section and elevations

(Source: City Council of Johannesburg, Plans Archive)



Fig. 66 Zoom on northern and southern elevations

(Source: City Council of Johannesburg, Plans Archive)



Fig. 67 Brixton Library from 1949 - water colour from Museum Africa collection
(Source: Museum Africa)



Fig. 68 Face brick modernist building with overhanging slate roof.
(Source: Museum Africa)

Identifying Image



Fig. 69 Brixton Library, western elevation
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Should a proposal for the demolition of the public library be pursued (as contemplated on page 100 of the SAF) approval from PHRA_G will be required. Repurposing, alterations or additions to be considered before demolition is explored as option</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Improved site access will enhance social and cultural values of facility</p>
<p>Social Cluster Development Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations Should a proposal for the demolition of the public library be pursued (as contemplated on page 100 of the SAF) approval from PHRA_G will be required. Repurposing, alterations or additions to be considered before demolition is explored as option.</p>
<p>Mixed-use Development Street falls within a mixed-use development zone with possible extension of mixed use zoning</p>	<p>Recommendations Most of High Street already consists of mixed-use building blocks.</p>

Conservation Management Policies_Grade 3C_Institutional Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3C institutional buildings do not have heritage value in and of themselves but have contextual value in heritage areas, clusters or streetscapes. They may be demolished as a last option.

Swot Analysis

Analysis	Result
Strength	Located in proposed historic cluster The building is in fair to good condition
Weakness	Vulnerability arising from possible use change Site identified for possible redevelopment as mixed use building
Risk/ Threat	The site is located in proximity of an area of proposed high density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to repurpose, alter or add to the building to meet social cluster objectives Increased densities may result in increased patronage of library building and services strengthening its heritage and cultural values

Conservation Management Policies_Institutional sites

Views/Vistas

- Due care to be taken with adjacent developments
- Maintain park like setting of library

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building if alterations/ demolition are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site falls within recommended historic cluster and any developments should be overseen by a team of heritage professionals

Future Development

- Ensure that alterations, additions or demolitions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.4.4 Brixton Municipal Swimming Pool_Mayfair West_Stand 17

Address	20, 22, 24, 26, 28 High Street
Stand no.	17
Current zoning	Public Open Space
Year of erection	1938/9
Architect	City Engineering Department
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
<p>Site description</p> <p>The Brixton Public Swimming Pool is a good example of municipal swimming pools (or 'baths') from the mid-20th century. It stands in lineage with a number of pools developed by city authorities from the 1930s onwards. What makes the Brixton pool of interest is that it has remained largely intact despite the recent removal of (possibly original) tile work from the foyer. Original fittings, furnishings and furniture are extant as evidenced by historic photographs. The façade of the pool is a stepped flat roof structure with central doorway built in the so-called Art Deco style, inside walls are yellow Face brick with plaster parapets. The swimming pools are enclosed within a large courtyard area and are overseen by a life guard room in the central of the block. The pools are accessed via a foyer with ticket booth intact, men's change rooms to the left and women's change rooms to the right. Changing rooms have original fittings and furnishing. Some structural problems were noted during site inspection which would need to be addressed together with the restoration of the foyer.</p>	

Locality map



Fig. 70 The Brixton swimming pool cover a number of stands on the south-western portion of High and Jason streets.

(Source: City Council of Johannesburg, GIS Map)

Original plans for Stand 17

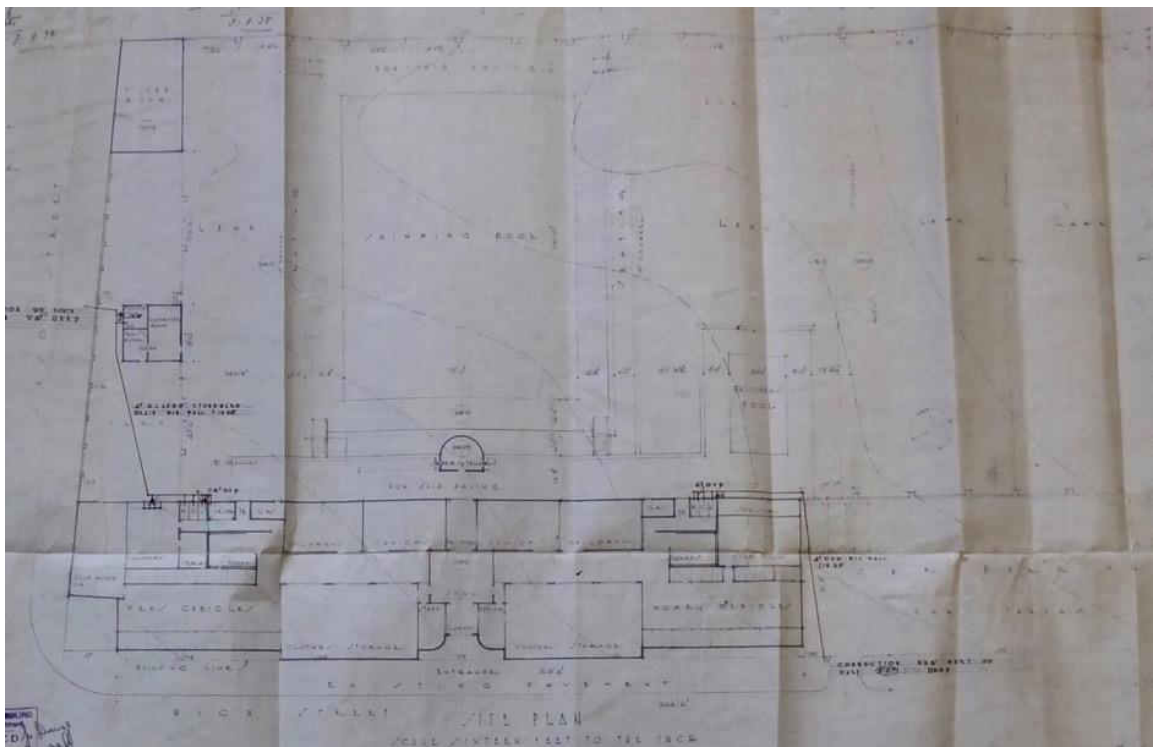


Fig. 71 Detail from original site plan from 1938

(Source: City Council of Johannesburg, Plans Archive)

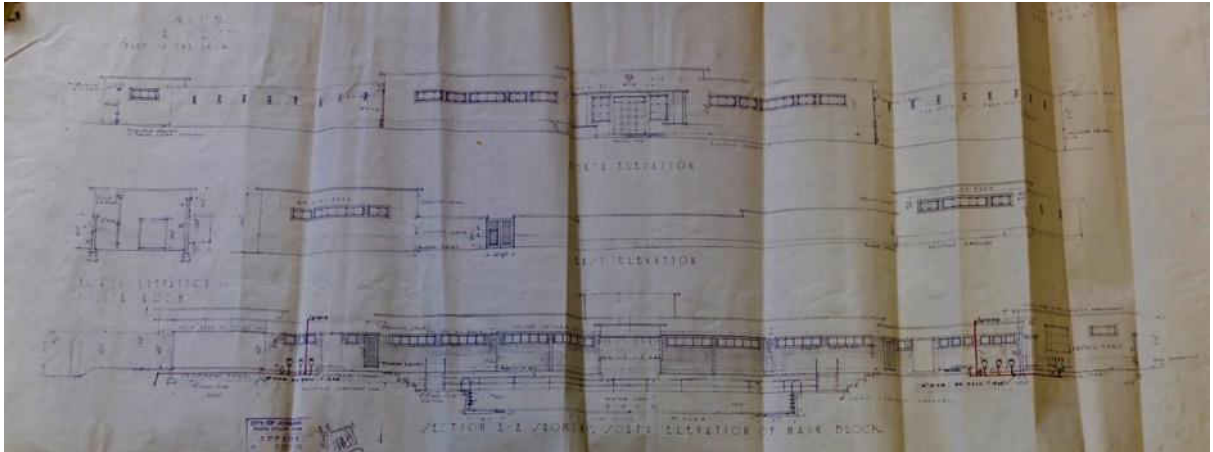


Fig. 72 Plan shows elevations from swimming pool from 1938
(Source: City Council of Johannesburg, Plans Archive)

Historical Images of Brixton Swimming Pool



Fig. 73 Historic Image of north facing main façade of Brixton swimming pool
(Source: Museum Africa)



Fig. 74 Main pool of Brixton swimming pool
(Source: Museum Africa)



Fig. 75 Corridors & watch tower of Brixton swimming pool
(Source: Museum Africa)

Identifying Images



Fig. 76 Swimming pool with southern façade of main block in background
(Source: tsica heritage consultants, 2015)

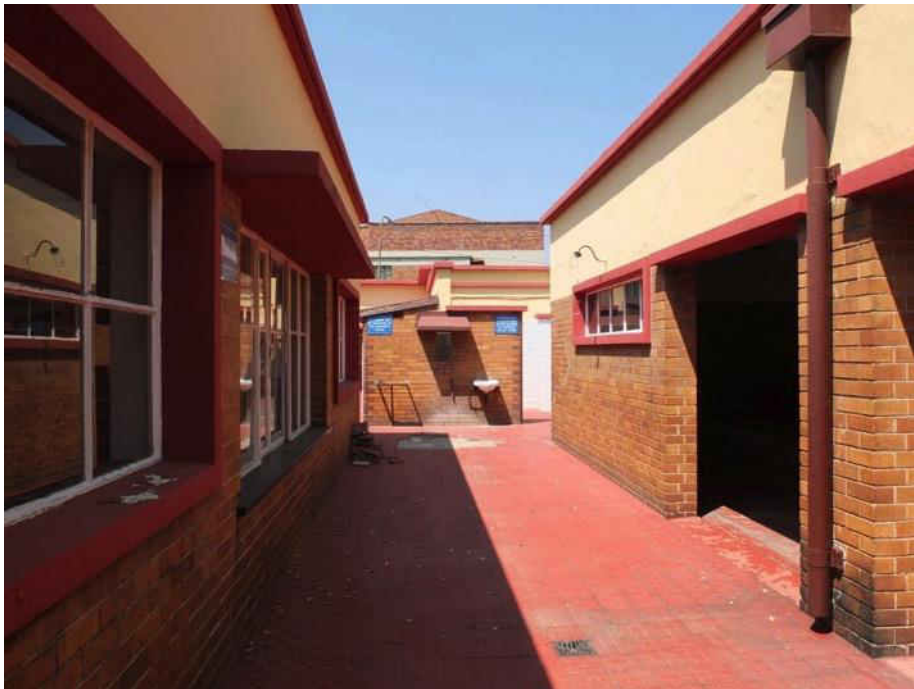


Fig. 77 Men's changing and toilet areas
(Source: tsica heritage consultants, 2015)



Fig. 78 Men's change room
(Source: tsica heritage consultants, 2015)



Fig. 79 Central watch tower
(Source: tsica heritage consultants, 2015)

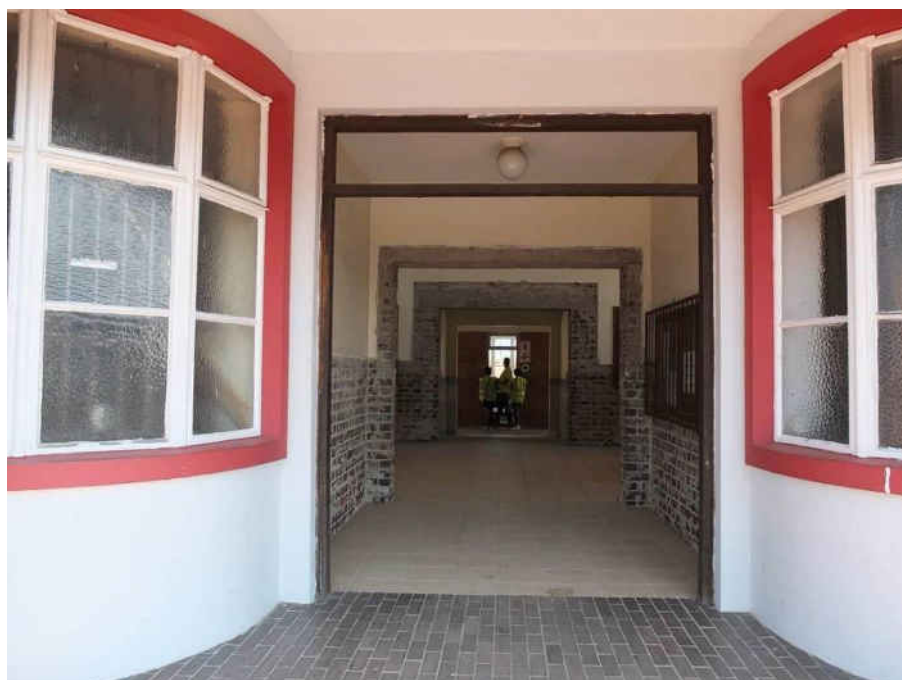


Fig. 80 Main entrance and foyer with detail of missing tile work.
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium to High (160-300dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p>Recommendations Site highly recommendation for conservation. Front façade not to be altered unless full restoration is contemplated. Should a proposal for the demolition of the wall of the pools be pursued (as contemplated on page 100 of the SAF) approval from PHRA_G will be required.</p>
<p>Transport Planned future Public Transport link NMT Routes</p>	<p>Recommendations Improved site access will enhance social and cultural values of facility.</p>
<p>Social Cluster Development Social cluster development at Brixton Park, Library & Sports Fields</p>	<p>Recommendations Site highly recommendation for conservation. Front façade not to be altered unless full restoration is contemplated. Should a proposal for the demolition of the wall of the pools be pursued (as</p>

	contemplated on page 100 of the SAF) approval from PHRA_G will be required.
Mixed-use Development Street falls within a mixed-use development zone with possible extension of mixed use zoning	Recommendations Not applicable.

Conservation Management Policies_Grade 3A_Institutional Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A institutional buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	Located within proposed historic cluster The building is in fair to good condition although structural problems are evident
Weakness	Structural problems and insensitive removal of tile work from foyer
Risk/ Threat	The site is located in proximity of an area of proposed high density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to better integrate site into rest of social cluster which will strengthen its use value

Conservation Management Policies_ Institutional sites

Views/Vistas

- Retain views of façade and buildings
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site falls within recommended historic cluster and any developments should be overseen by a team of heritage professionals
- Increase awareness of the site's architectural and social merits

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.4.5 Single storey, pitched roof face brick building_Scout Hall_Brixton_Stand 376

Address	91 Caroline Street
Stand no.	376
Current zoning	Residential 1
Year of erection	1924-5
Architect	Unknown
Heritage significance	Social/ Cultural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
Site description	
<p>The global scouting movement started in South Africa through the work of Robert Baden-Powell in 1908. The Brixton Scout Hall is a good example of Scouts halls in Johannesburg. The building is a dark brown face brick building from the mid-1920s with pitched corrugated iron roof. It has a distinctive arched window over the front doorway with brick detailing. The foundation stone is dated 1924.</p>	

Locality map

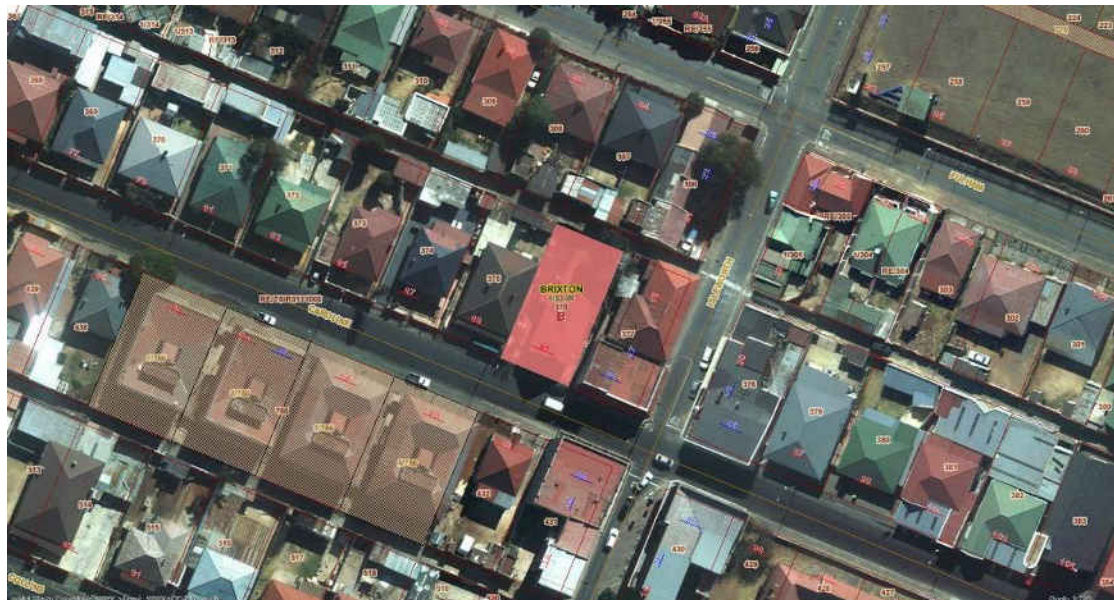


Fig. 81 The Scout Hall is situated along the northern side of Caroline Street
(Source: City Council of Johannesburg, GIS Map)

Original plans not available!

Monika Läuferts le Roux & Judith Muindisi, tsica heritage consultants
Office: 5th Avenue, 41 – Westdene – 2092 – Johannesburg; Tel: 011 477-8821
tsica.culturalheritage@gmail.com

Identifying Images



Fig. 82 Southern façade towards Caroline Street
(Source: tsica heritage consultants, 2015)

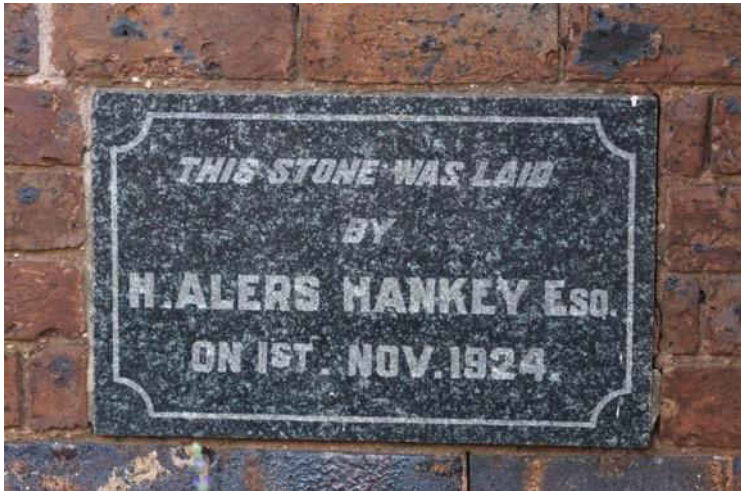


Fig. 83 Foundation stone from 1924
(Source: tsica heritage consultants, 2015)



Fig. 84 Detail of brickwork above entrance door
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

Densities Medium (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys	Recommendations Building is recommended for conservation. Adjacent development to be limited to one storey height increase.
Transport NMT priority	Recommendations NMT upgrades should be undertaken with due care to building.
Social cluster development	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height zone to be retained

Conservation Management Policies_Grade 3A_Institutional Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A institutional buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in fair to good condition
Weakness	Located in fairly declined part of Caroline Street Potential inappropriate use change
Risk/ Threat	The site is located in proximity of an area of proposed medium density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to better integrate site into wider Caroline Street precinct upgrade

Conservation Management Policies_ Institutional sites

Views/Vistas

- Retain views of façade and buildings
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals
- Increase awareness of the site's architectural merits

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.4.6 Brixton school_Brixton_Stand RE/424, 425, 426, 427, 428

Address	100 – 108 Caroline Street
Stand no.	RE/424, 425, 426, 427, 428
Current zoning	Educational
Year of erection	1906; 1915-16 (additions)
Architect	PWD
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
Site description	
Edwardian school block from Colonial PWD school building programme consistent with similar schools found in Yeoville, Fordsburg and elsewhere at the time. Ventilated central tower with corrugated iron pitched roof in U shape, later extended with western and eastern wings. Sash windows and chimney pots are some of the remaining features.	

Locality map



Fig. 85 School premises situated on the southern section of Caroline Street.
(Source: City Council of Johannesburg, GIS Map)

Original plans for Stands RE/424, 425, 426, 427, 428

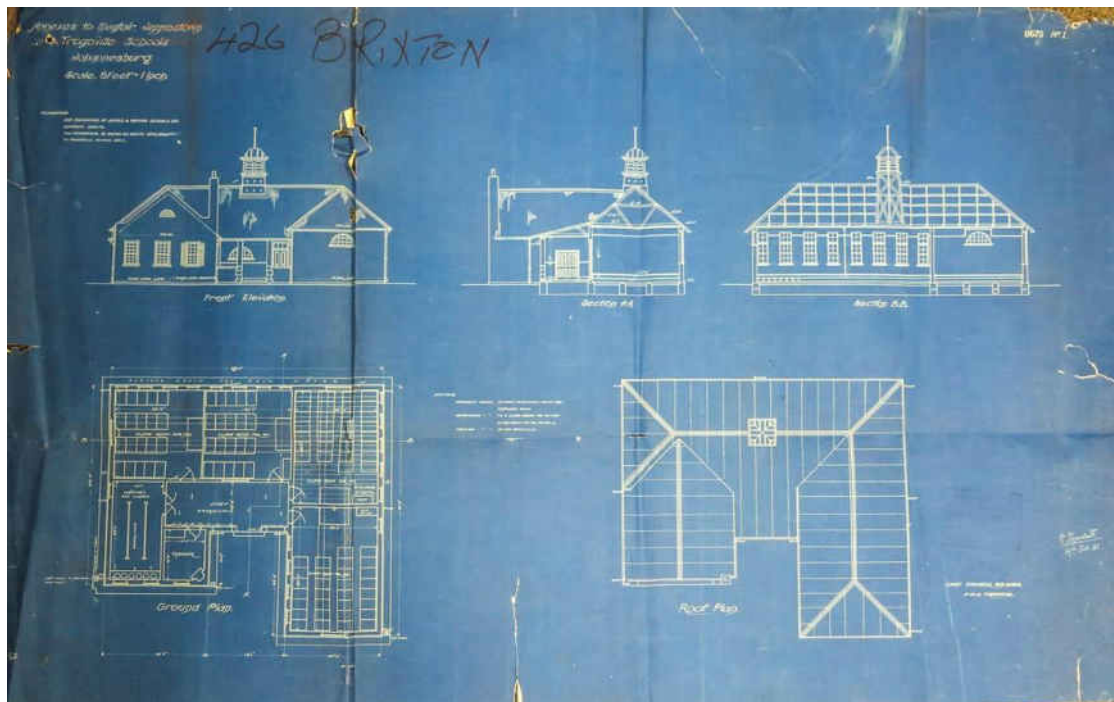


Fig. 86 Blue prints of Brixton School
(Source: City Council of Johannesburg, Plans Archive)



Fig. 87 Blue prints of Brixton School
(Source: City Council of Johannesburg, Plans Archive)



Fig. 88 Blue prints of Brixton School
 (Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 89 View in western direction of main building on southern section of Caroline Street
 (Source: tsica heritage consultants, 2015)



Fig. 90 View in eastern direction with main building on southern section of Caroline Street (Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Medium (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys</p>	<p>Recommendations Building is recommended for conservation. Adjacent development to be limited to one storey height increase.</p>
<p>Transport NMT priority</p>	<p>Recommendations NMT upgrades should be undertaken with due care to building.</p>
<p>Social cluster development</p>	<p>Recommendations Not applicable.</p>
<p>Mixed-use development Mixed use zoning</p>	<p>Recommendations Existing height zone to be retained</p>

Conservation Management Policies_Grade 3A_Institutional Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A institutional

buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in fair to poor condition
Weakness	Located in fairly declined part of Caroline Street Potential inappropriate use change
Risk/ Threat	The site is located in proximity of an area of proposed medium density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to better integrate site into a wider Caroline Street precinct upgrade

Conservation Management Policies_ Institutional sites

Views/Vistas

- Retain views of façade and buildings
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals
- Increase awareness of the site's architectural merits

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.4.7 Brixton Boys Club_Stand 398

Address	Caroline Street
Stand no.	398
Current zoning	Business 1
Year of erection	Unknown
Architect	Unknown
Heritage significance	Architectural/ social
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
<p>Site description</p> <p>The Boys Club can be situated within a deepening concern for the well being of poor whites during the 1930s, 40s and 50s. A number of these projects were implemented by both welfare societies as well as the state during the period. Another site in proximity to the Brixton Fire Station was called the "Boys Refuge".</p>	

Locality map

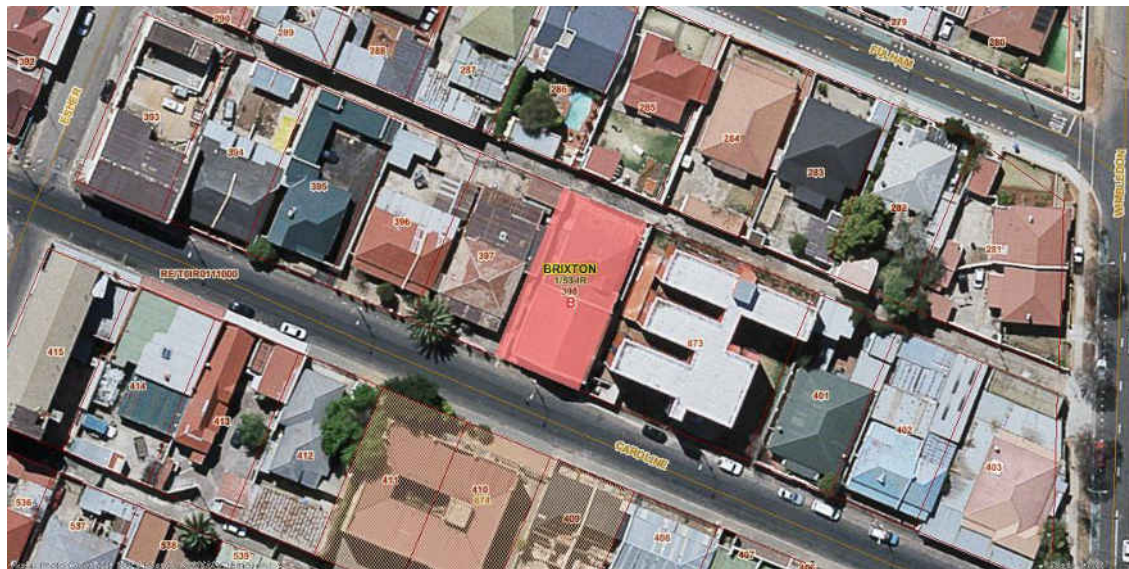


Fig. 91 Club is situated along northern edge of Caroline Street
(Source: City Council of Johannesburg, GIS Map)

No original plans available!

Identifying Image



Fig. 92 View from along Caroline Street of the Brixton Boys Club
(Source: tsica heritage consultants, 2016)

Impact of proposed development plan & recommendations

Densities Medium (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys	Recommendations Building is recommended for conservation. Due care to be taken with future adjacent height increases
Transport NMT priority	Recommendations NMT upgrades should be undertaken with due care to building so as not to block views
Social cluster development	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height zone to be retained for site

Conservation Management Policies_Grade 3A_Institutional Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest,

development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A institutional buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in fair condition
Weakness	Located in fairly declined part of Caroline Street Potential inappropriate use change
Risk/ Threat	The site is located in proximity of an area of proposed medium density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to better integrate site into a wider Caroline Street precinct upgrade

Conservation Management Policies_Institutional sites

Views/Vistas

- Retain views of façade
- Due care to be taken with adjacent developments so as not to overpower site
- Maintain building heights around the site

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals
- Increase awareness of the site's architectural merits

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.4.8 Brixton Recreation Centre_ Stands 320, 319, 318, 317

Address	68 – 74 Fulham Street
Stand no.	320, 319, 318, 317
Current zoning	Residential 1
Year of erection	1925
Architect	Harold Porter
Heritage significance	Architectural
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
Site description	
Commissioned by the Committee of Children's Aid Society the building was designed by influential architect Harold Porter. The building is a two storey plastered walk-up building with pitched corrugated iron roof.	

Locality map



Fig. 93 The Brixton Recreation Centre is located on the boundaries of Fulham, Putney and Caroline

(Source: City Council of Johannesburg, GIS Map)

Original plan for Stand 320, 319, 318 and 317

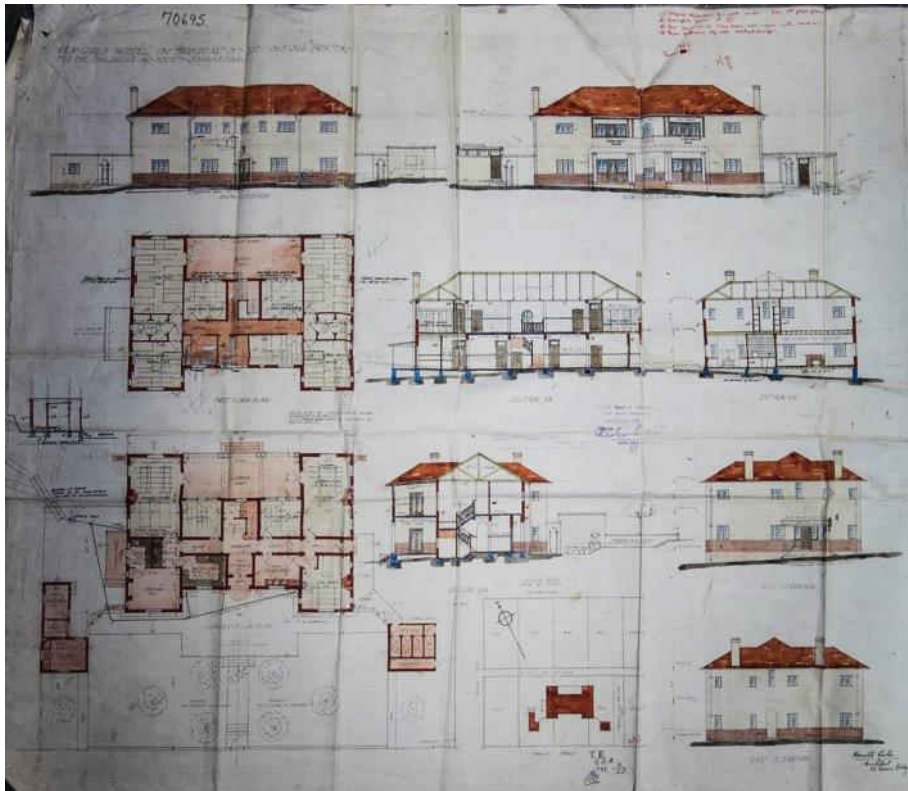


Fig. 94 Proposed plans from 1925 for a new girls Hostel for the Children's Aid Society Johannesburg
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 95 Northern façade with main entrance to parking area
(Source: tsica heritage consultants, 2015)



Fig. 96 Southern façade of Brixton Recreation Centre
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

Densities Medium (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys	Recommendations Building is recommended for conservation. Due care to be taken with future adjacent height increases
Transport NMT priority	Recommendations NMT upgrades should be undertaken with due care to building so as not to block views
Social development cluster	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height zone to be retained for site

Conservation Management Policies_Grade 3A_Institutional Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development,

as well as identifying potential risks or threats to the site. 3A institutional buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in fair condition
Weakness	Located in fairly declined part of Brixton
Risk/ Threat	The site is located in proximity of an area of proposed medium density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to better integrate site into a historic streetscape along Fulham

Conservation Management Policies_ Institutional sites

Views/Vistas

- Retain views
- Due care to be taken with adjacent developments so as not to overpower site
- Adjacent buildings to be limited to an additional storey to building

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals
- Increase awareness of the site's heritage significance

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.5 Identified sites of significance_Religious buildings within Central Brixton Precinct (Churches, Synagogues)

Introduction

Historically, religious buildings are an important indicator of the societal make up, therefore churches often hold an important repository of community history. Churches continue to hold a social and spiritual significance in the community as places of worship. A visual street by street survey was done and all of the churches in the area mapped. Those of significance were singled out either because of their historic and architectural significance or because of the social standing they may have in the community. All the sites in this category were graded with 3A Grading explained below. Only where a church building structure is used for a different purpose, could Grading be 3B or 3C. We, however, also acknowledge that most of the religious buildings mentioned below have a low risk profile as they cannot easily be changed unless with express approval by the PHRA_G. In addition, it must be noted that their immediate surroundings must continue to support the character of these significant sites.

Grading

3A_Buildings that have a highly significant association with a historic organisation, person, social grouping, event/s, public memories, activities or that are historic landmarks (should be conserved and enhanced).

3B_ Buildings of marginally lesser significance for example where there have been alterations made but the site still meets the other criteria of 3A sites (sensitive alteration and additions to the interior allowed on approval).

3C_Buildings where the significance is in large part based on setting and contextual relationships in so far as these contribute to the character or significance of the surrounding environs including landscapes, streetscapes, townscapes or areas (possibility of sensitive alteration and addition to the interior/exterior).

Summary Table of identified sites in the religious category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
150	Former Johannesburg West NGK / Masjid-ul-Islam_Mayfair West_ Stand 150	3A	Conservation highly recommended
421	Pitched roof, chapel, Wesleyan church	3A	Conservation highly recommended

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
300	Baker & Fleming design, arts and craft style	3A	Conservation highly recommended
244-245	Single storey, gabled church	3A	Conservation highly recommended
189/53-IR	Pitched roof, church building with side bell tower	3A	Conservation highly recommended
RE/530	Nederduitse Gereformeerde Kerk_Gerard Moerdyk Church	3A	Conservation highly recommended
RE/526 & 1/527	Nederduitse Gereformeerde Kerk_Geers&Geers Church	3A	Conservation highly recommended

7.5.1 Former Johannesburg West NGK / Masjid-ul-Islam_Mayfair West_ Stand 150

Address	Corner of Indra and St Alban's Streets
Stand no.	150
Current zoning	Business 1
Year of erection	1940
Architect	Geers & Geers Architects
Heritage significance	Architectural/ Social/ Religious
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
Site description	
<p>Johannesburg West NGK grew from the Brixton NGK and was established in 1939 (Hart 2013:43). The structure is typical Geers & Geers with golden-brown face brick and plinth and brickwork detailing in a darker 'blue' face brick (ibid, 45). A corner clock tower creates a landmark structure in a suburban setting (ibid).</p>	

Locality map



Fig. 97 Stand 150 on the corner of Indra and St Alban's Streets
(Source: City Council of Johannesburg, GIS Map)

Original plans for Stand 150

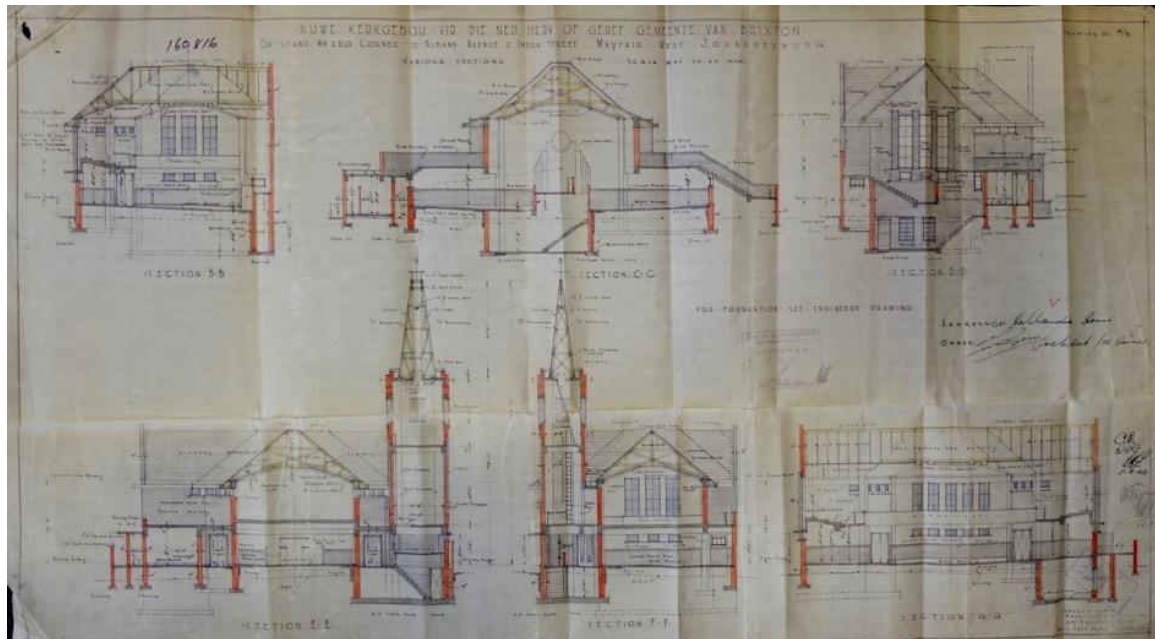


Fig. 98 Original plan with sections of church building from 1940s
(Source: City Council of Johannesburg, Plans Archive)

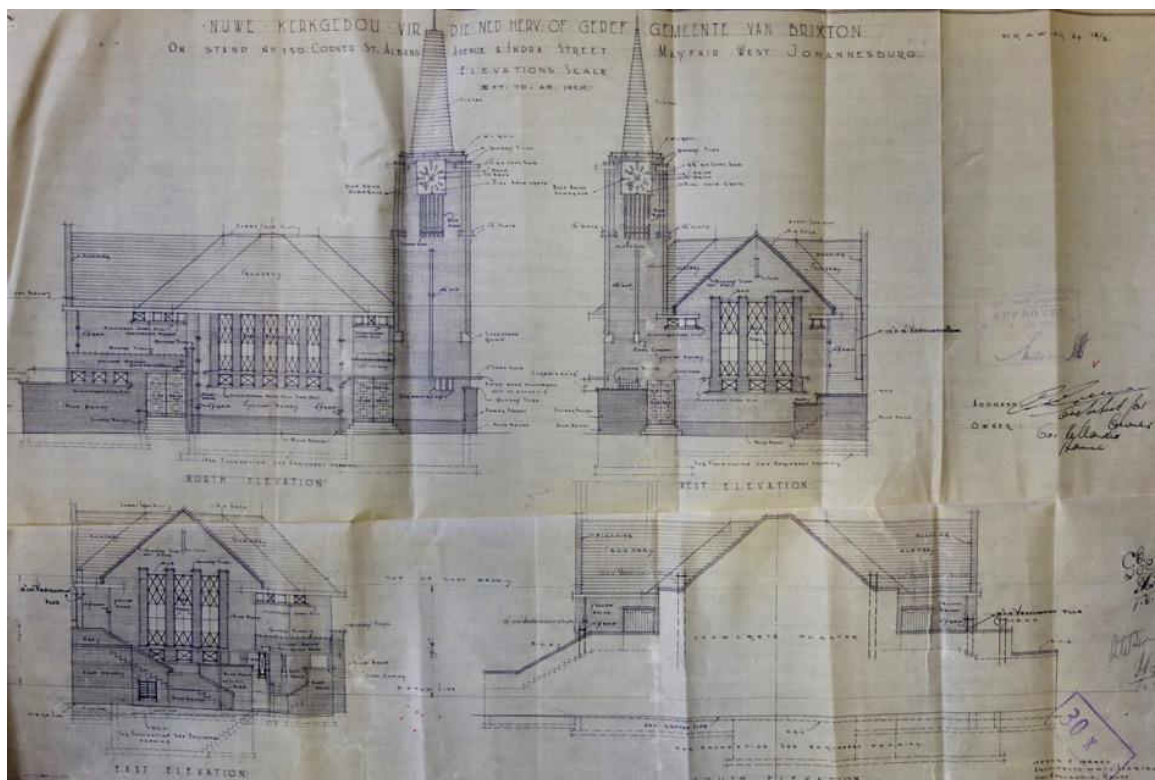


Fig. 99 Original plan with elevations of church building from 1940s
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 100 View of church building from the north-western side
(Source: tsica heritage consultants, 2016)

Impact of proposed development plan & recommendations

<p>Densities Opposite side of street: Medium (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys & same side of street: Low to Medium (60 – 100dph) with 4 to 6 storeys and a minimum of 4 storeys</p>	<p>Recommendations Building is recommended for conservation. Adjacent height increases to be limited to an additional storey in order to retain landmark nature of structure</p>
<p>Transport NMT upgrades in vicinity</p>	<p>Recommendations Not applicable.</p>
<p>Social cluster development Brixton social cluster</p>	<p>Recommendations Not applicable.</p>
<p>Mixed-use development Mixed use zoning</p>	<p>Recommendations Conservation recommended</p>

Conservation Management Policies_Grade 3A_Religious Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A religious buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because they hold historic artefacts they are often also vulnerable to break ins and theft. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in a good condition
Weakness	Not applicable
Risk/ Threat	The site is located in proximity of an area of proposed medium density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Conversion of church to mosque has been sensitively achieved

Conservation Management Policies_Religious sites

Views/Vistas

- Retain views
- Due care to be taken with adjacent developments so as to retain landmark status of building
- Adjacent buildings to be limited to an additional storey

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated

- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.5.2 Pitched roof chapel_Weslyan Church_Brixton_ Stand 421

Address	114 Caroline Street
Stand no.	421
Current zoning	Business 1
Year of erection	1905
Architect	Unknown
Heritage significance	Architectural/ Social/ Religious
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
<p>Site description</p> <p>Built for the Rev. John Howard on behalf of the Wesleyan Community of Brixton, this is one of the earliest churches in Brixton and is indicative of the working class nature of the suburb – the Wesleyan Church having traditionally been associated with the English working and lower middle classes. As with most Wesleyan churches the building is relatively unadorned with high pitched roof, air vents over main gothic style window and side entrance.</p>	

Locality map

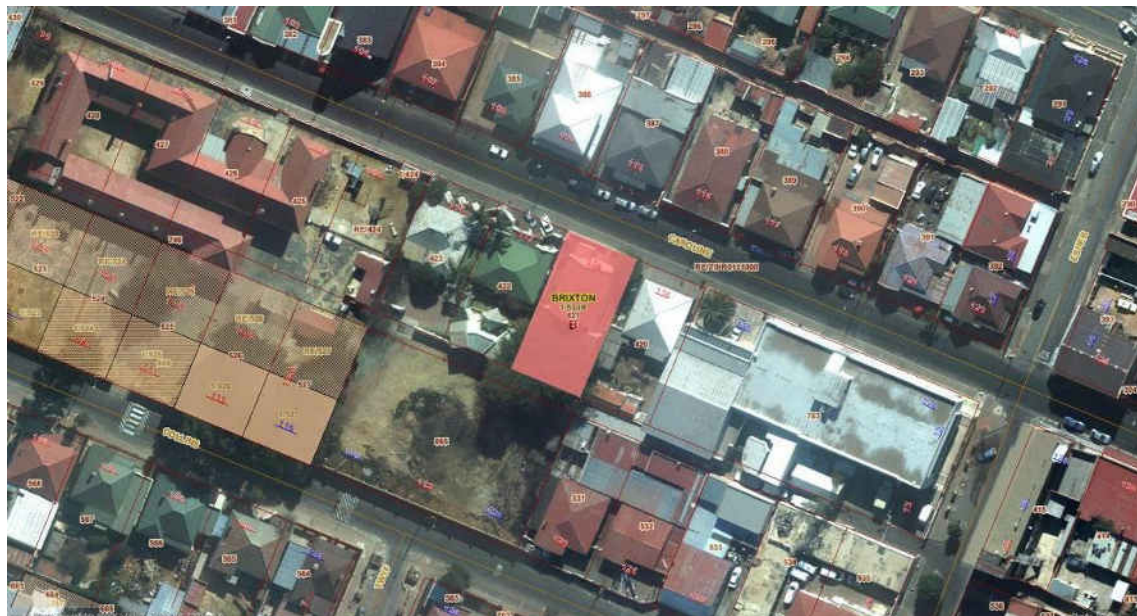


Fig. 101 Stand 421 on the southern boundary of Caroline Street
(Source: City Council of Johannesburg, GIS Map)

Original plan for Stand 421

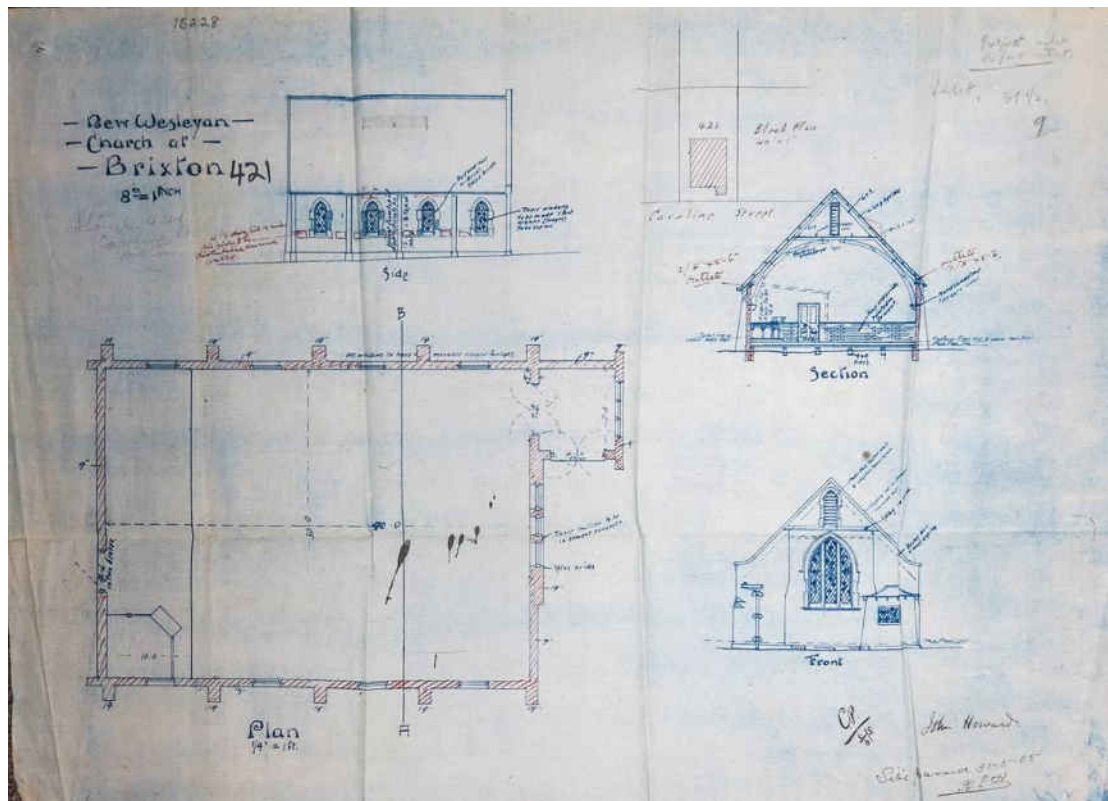


Fig. 102 Proposed new Wesleyan Church in Brixton from 1905
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 103 Foundation stone from 1905 of the Church
(Source: tsica heritage consultants, 2015)



Fig. 104 North elevation of Wesleyan Church on Caroline Street
(Source: tsica heritage consultants, 2015)



Fig. 105 Interior of chapel
(Source: tsica heritage consultants, 2016)



Fig. 106 Detail of stained glass windows
(Source: tsica heritage consultants, 2016)

Impact of proposed development plan & recommendations

Densities Medium (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys	Recommendations Building is recommended for conservation. Adjacent height increases to be limited to an additional storey
Transport NMT priority	Recommendations Not applicable.
Social cluster development	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height zone to be retained for site

Conservation Management Policies_Grade 3A_Religious Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a

useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A religious buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because they hold historic artefacts they are often also vulnerable to break ins and theft. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in fair condition
Weakness	Located in fairly declined part of Brixton
Risk/ Threat	The site is located in proximity of an area of proposed medium density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to better integrate site into a historic streetscape along Fulham Opportunity for full site restoration

Conservation Management Policies_Religious sites

Views/Vistas

- Retain views
- Due care to be taken with adjacent developments so as not to overpower site
- Adjacent buildings to be limited to an additional storey to building

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals
- Increase awareness of the site's heritage significance

- Urgent action required to secure site from vandalism and theft

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.5.3 Anglican Church of St Augustine of Hippo_Brixton_Stand 300

Address	108 Fulham Road
Stand no.	300
Current zoning	Residential 1
Year of erection	1913
Architect	Baker & Fleming
Heritage significance	Architectural/ Social/ Religious
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history
Proposed SAHRA Grading	3A
<p>Site description</p> <p>A Baker & Fleming design, this church building was created in their characteristic – yet pared down – arts and crafts style as a face brick building with low pitched corrugated iron roof, buttressed walls, small arched windows and air vents over central façade. The restrained design is further evident by the absence of a clock tower with the church bell incorporated into the roofing structure over the front façade. The foundation stone was laid by Mayor Mrs. Norman Anstey.</p>	

Locality map

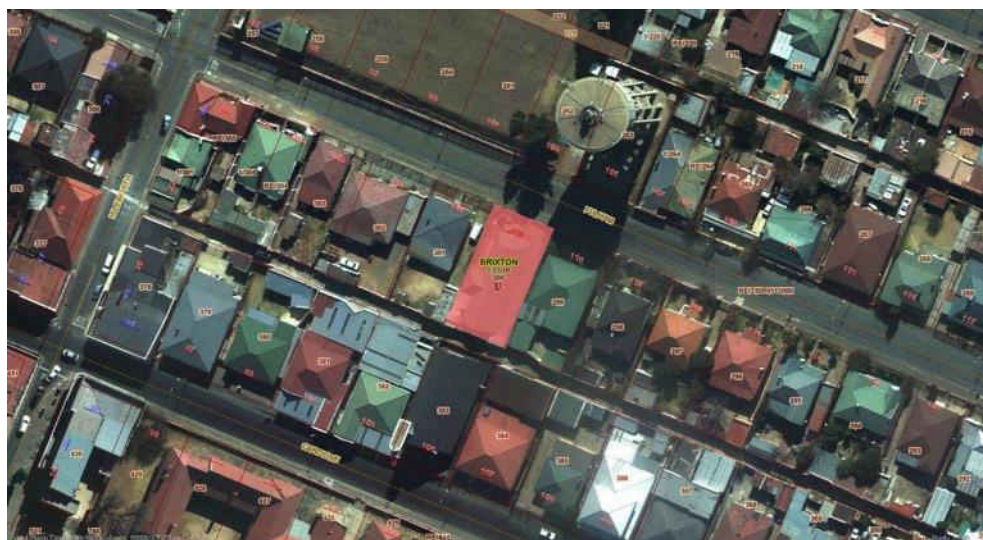


Fig. 107 Stand 300 on the southern section of Fulham Road
(Source: City Council of Johannesburg, GIS Map)

No original plans available!

Identifying Images



Fig. 108 Northern elevation along Fulham Road
(Source: tsica heritage consultants, 2015)



Fig. 109 Foundation stone from 1913
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

Densities Site backs on to medium densities zone (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys	Recommendations Building is recommended for conservation. Buffer zone to be established – existing heights to be maintained around the site
Transport NMT priority	Recommendations Not applicable.
Social cluster development	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height zone to be retained for site and adjacent stands

Conservation Management Policies_Grade 3A_Religious Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A religious buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because they hold historic artefacts they are often also vulnerable to break ins and theft. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in a good condition Located in historic streetscape
Weakness	Low pitched roof leaves it vulnerable to being overshadowed by taller structures

Risk/ Threat	The site is located in proximity of an area of proposed medium density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to better integrate site into a historic streetscape along Fulham

Conservation Management Policies_Religious sites

Views/Vistas

- Retain views
- Due care to be taken with adjacent developments so as not to overpower site
- Create buffer zone around site retaining existing heights and tapering down of heights towards building

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals
- Increase awareness of the site's heritage significance

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.5.4 Single storey gabled church_Gereformeerde Kerk_Brixton_Stand 244-245

Address	67 – 69 Fulham Road
Stand no.	244-245
Current zoning	Residential 1
Year of erection	c. 1931 with alterations 1948
Architect	Nelly Edwards
Heritage significance	Architectural/ Social/ Religious
Statement significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa’s history
Proposed SAHRA Grading	3A
Site description	
Gabled church hall with central doorway, pitched corrugated iron roof and added front lobby. The gable echoes Cape Dutch architecture.	

Locality map

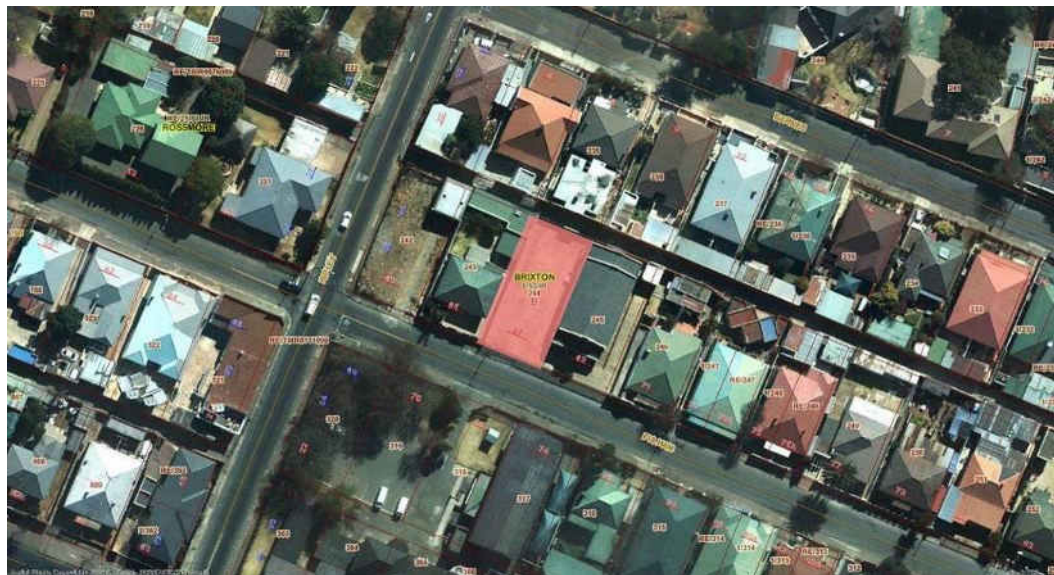


Fig. 110 Stands 244 & 245 on the northern boundary of Fulham Road
(Source: City Council of Johannesburg, GIS Map)

Original plan for Stand 244/245

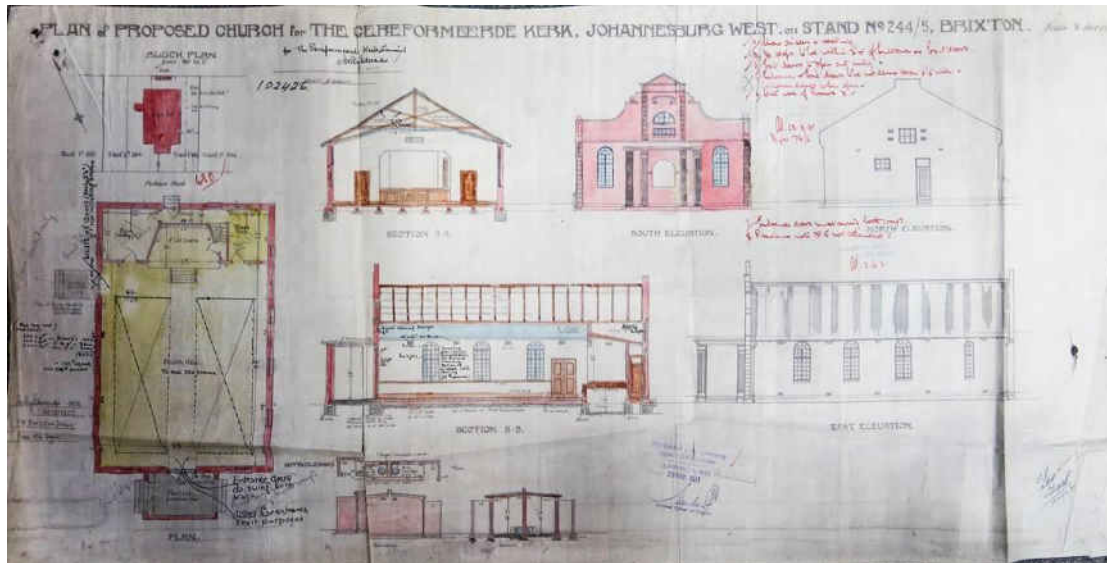


Fig. 111 Original plan for proposed church
(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 112 South elevation along Fulham Road
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

Densities Site in proximity of medium densities zone (100 - 160 dph) new buildings suggested maximum scale is 4-6 and a minimum of 4 storeys	Recommendations Building is recommended for conservation. Buffer zone to be established – existing heights to be maintained around the site
Transport NMT priority	Recommendations Not applicable.
Social cluster development	Recommendations Not applicable.
Mixed-use development Mixed use zoning	Recommendations Existing height zone to be retained for site and adjacent stands

Conservation Management Policies_Grade 3A_Religious Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A religious buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because they hold historic artefacts they are often also vulnerable to break ins and theft. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in a good to excellent condition Located in historic streetscape
Weakness	Sterile parking area surrounding building detracts from significance

Risk/ Threat	The site is located in proximity of an area of proposed medium density development which may result in contextual values being altered in relation to the site
Strength/Opportunity	Opportunity to better integrate site into a historic streetscape along Fulham

Conservation Management Policies_Religious sites

Views/Vistas

- Retain views
- Due care to be taken with adjacent developments so as not to overpower site
- Create buffer zone around site retaining existing heights and tapering down of heights towards building

Fabric and Setting

- Retain original materials, doors, window panels and other original features of the building including fittings and furnishings if alterations are contemplated
- If additions or alterations are to be made to the building structure contrasting modern materials must be used

Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historic structures and the introduction of new buildings on site or near the site
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

Future development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historic or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

7.5.5 Nederduitse Gereformeerde Kerk_Gerard Moerdyk
Church_Stand RE/530

Address	35 Putney Road
Stand No.	RE/530
Current Zoning	Residential 1
Year of erection	1934
Architect	Gerard Moerdyk & Watson
Heritage Significance	Architectural/ Social/ Religious
Statement of Significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history; h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa; and
Proposed SAHRA Grading	3A
Site Description	
The Church which was built in 1934 by Gerard Moerdyk is a well-known landmark along the ridge between Auckland Park and Brixton along Putney Road. The current owner converted the church into a residential building and changed the original design to suit his personal needs.	

Locality Map

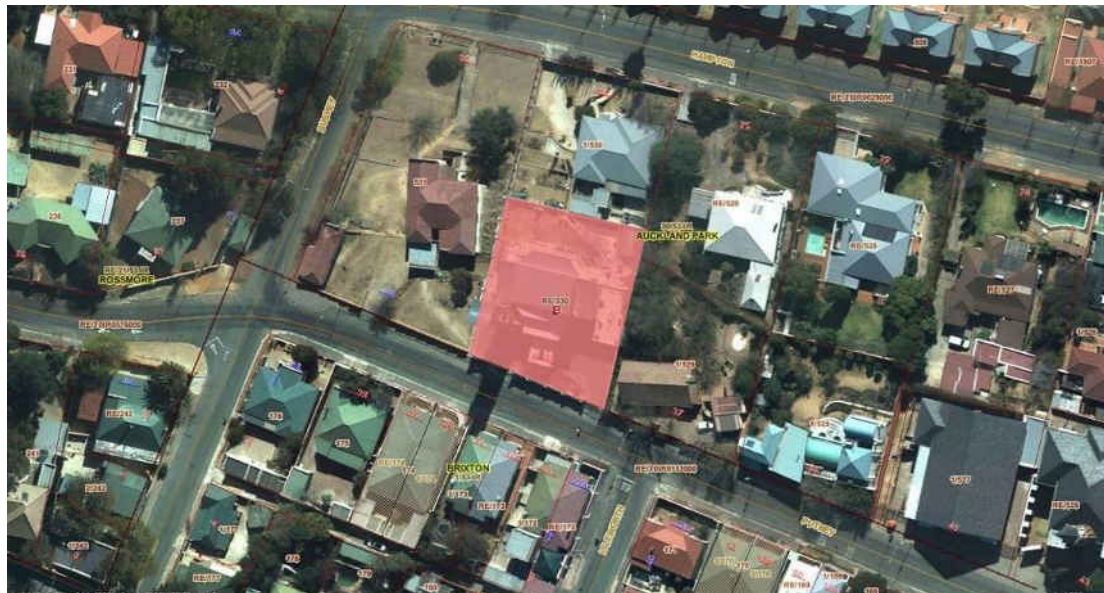


Fig. 113 The former NGK from Gerard Moerdyk is located along the northern side of Putney Road on the boundary line to Brixton on top of the ridge
 (Source: City Council of Johannesburg, GIS map)

Original plans for Stand RE/530

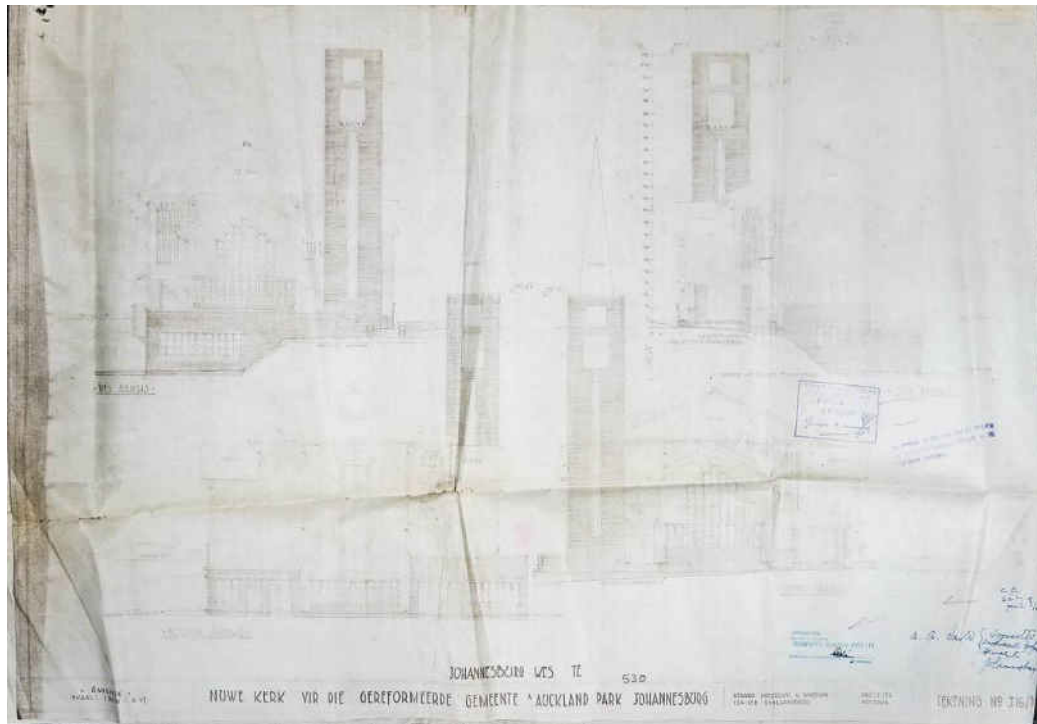


Fig. 114 Original elevation plan for the Nuwe Kerk vir die Gereformeerde Gemeente Auckland Park from 1934

(Source: City Council of Johannesburg, Plans Archive)

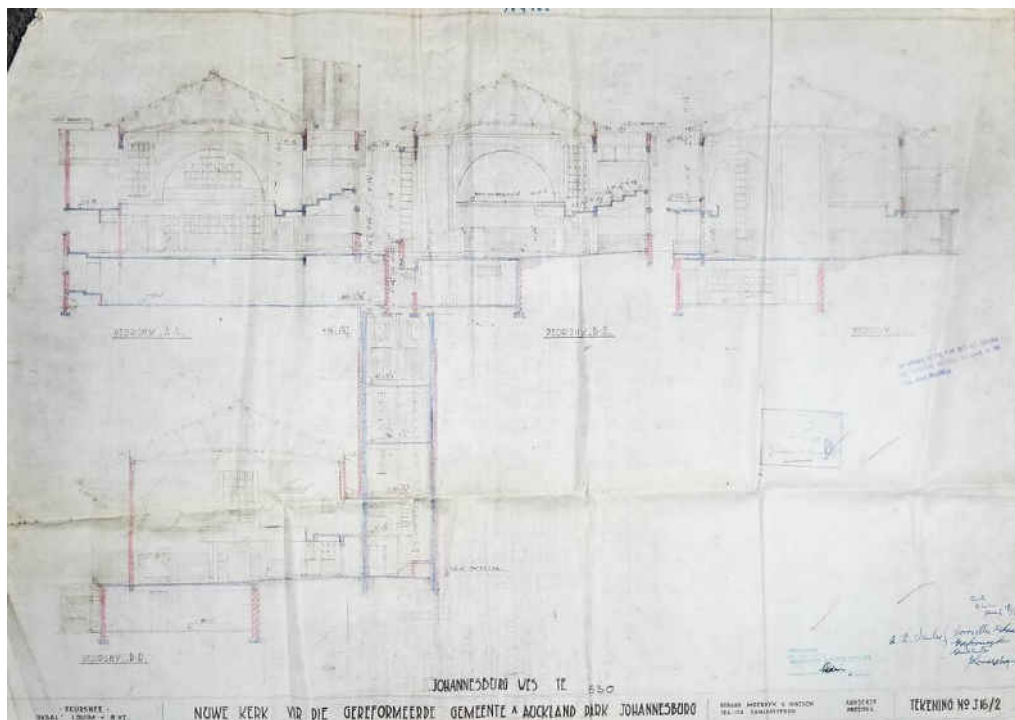


Fig. 115 Original section plan for the Nuwe Kerk vir die Gereformeerde Gemeente Auckland Park from 1934

(Source: City Council of Johannesburg, Plans Archive)

Identifying Image



Fig. 116 View towards northern elevation of the Gerard Moerdyk church along Brixton ridge with converted façade and usage
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Site falls outside of proposed developments</p>	<p>Recommendations Contextual impacts of developments may lead to development pressures in other areas of Brixton. Site is recommended for conservation. Ridge views and views of structure to be maintained.</p>
<p>Transport Site falls outside of proposed developments</p>	<p>Recommendations Not applicable.</p>
<p>Social cluster development Site falls outside of proposed developments</p>	<p>Recommendations Not applicable.</p>
<p>Mixed-use development Site falls outside of proposed developments</p>	<p>Recommendations Existing height zone to be retained for site and stands along ridge</p>

Conservation Management Policies_Grade 3A_Religious Sites

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Swot Analysis

Analysis	Result
Strength	The building is in a good to excellent condition Located in historic streetscape
Weakness	Alterations to building
Risk/ Threat	Future development pressures in area arising from COF investment
Strength/Opportunity	Protection of ridge line

Conservation Management Policies_Religious sites

Views/Vistas

- Retain views and site lines
- Existing heights to be maintained along Putney Road

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals

Future Development

- Conservation highly recommended

- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development

7.5.6 Nederduitse Gereformeerde Kerk_Geers&Geers Church_Stand RE/526 & 1/527

Address	43 Putney Road
Stand No.	RE/526 & 1/527
Current Zoning	Residential 1
Year of erection	1944
Architect	Geers & Geers
Heritage Significance	Architectural/ Social/ Religious
Statement of Significance (Heritage importance Grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history; h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa; and
Proposed SAHRA Grading	3A
Site Description	
The NGK was built by the well-known architectural firm Geers & Geers in 1944 who were responsible for a number of similar church buildings in Johannesburg and surrounds. The distinctive design style of the churches is seen in most of the 1940's building structures.	

Locality Map



Fig. 117 The NGK from Geers & Geers is located along the northern side of Putney Road on the boundary line to Brixton on top of the ridge
(Source: City Council of Johannesburg, GIS map)

Original plans for Stand RE/526 & 1/527

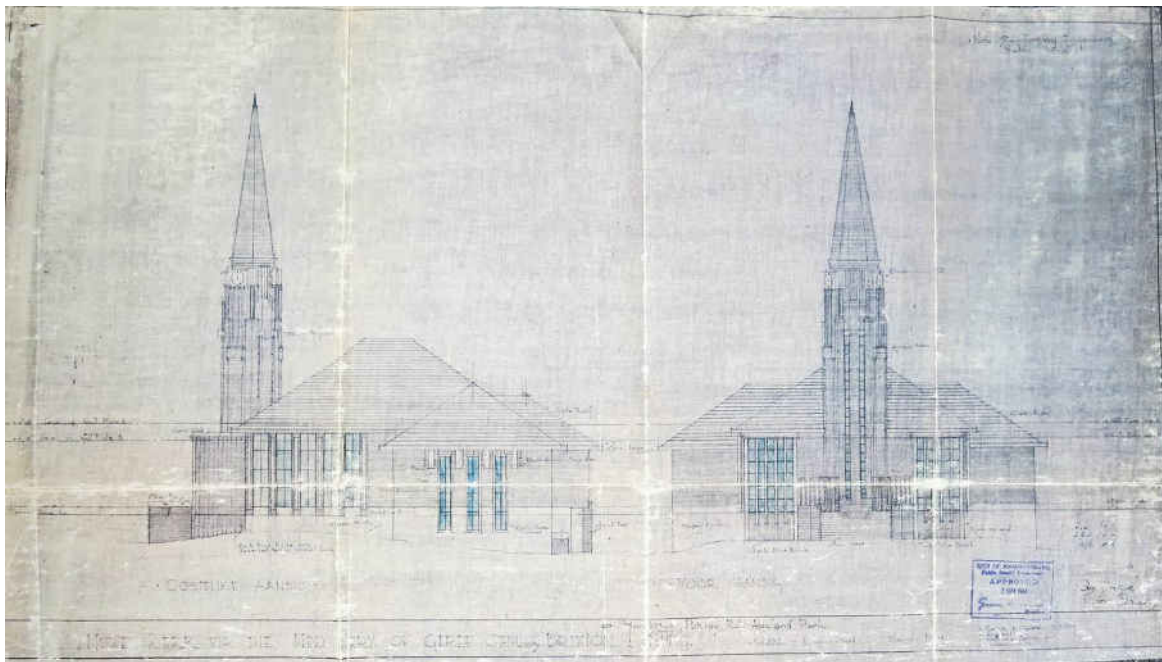


Fig. 118 Original elevation plan for the Nuwe vir die Ned. Her. of Geref. van Brixton from 1944
(Source: City Council of Johannesburg, Plans Archive)

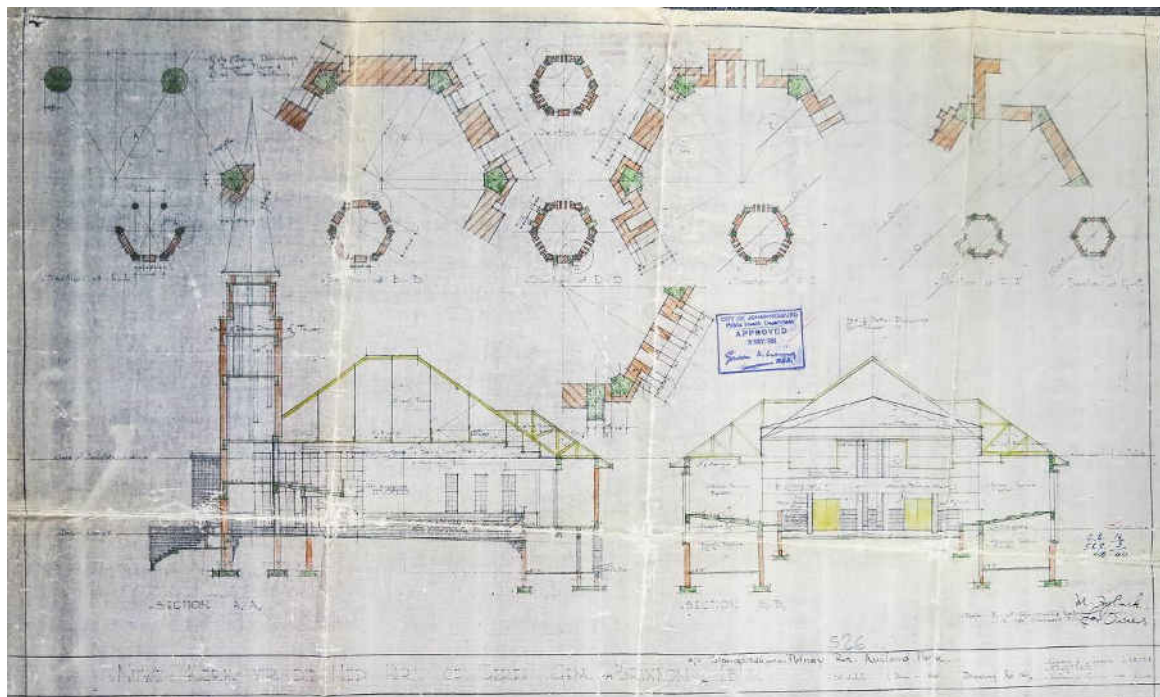


Fig. 119 Original section plan for the Nuwe vir die Ned. Her. of Geref. van Brixton from 1944
(Source: City Council of Johannesburg, Plans Archive)

Identifying Images



Fig. 120 South elevation with main entrance of NGK along the northern side of Putney Road
(Source: tsica heritage consultants, 2015)



Fig. 121 South elevation of church hall of NGK located in western direction of the Church building
(Source: tsica heritage consultants, 2015)



Fig. 122 Foundation Stone for Geers & Geers NGK building from 1944
(Source: tsica heritage consultants, 2015)

Impact of proposed development plan & recommendations

<p>Densities Site falls outside of proposed developments</p>	<p>Recommendations Contextual impacts of developments may lead to development pressures in other areas of Brixton. Site is recommended for conservation. Ridge views and views of structure to be maintained.</p>
<p>Transport Site falls outside of proposed developments</p>	<p>Recommendations Not applicable.</p>
<p>Social cluster development Site falls outside of proposed developments</p>	<p>Recommendations Not applicable.</p>
<p>Mixed-use development Site falls outside of proposed developments</p>	<p>Recommendations Existing height zone to be retained for site and stands along ridge</p>

Conservation Management Policies_Grade 3A_Religious Sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, particularly if the heritage buildings or sites are earmarked for development. The CMP, especially the policies and guidelines,

should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development, as well as identifying potential risks or threats to the site. 3A religious buildings are vulnerable to change as they are often not appropriate for other uses and become subject to abandonment and/or demolition. Because they hold historic artefacts they are often also vulnerable to break ins and theft. Because of their importance in local heritage they are recommended for conservation and any changes done should be overseen by heritage specialists.

Swot Analysis

Analysis	Result
Strength	The building is in a good to excellent condition Located in historic streetscape
Weakness	Alterations to building
Risk/ Threat	Future development pressures in area arising from COF investment
Strength/Opportunity	Protection of ridge line

Conservation Management Policies_Religious sites

Views/Vistas

- Retain views and site lines
- Existing heights to be maintained along Putney Road

Management

- Site is recommended for conservation and any developments should be overseen by a team of heritage professionals

Future Development

- Conservation highly recommended
- Ensure that alterations and additions are made only after consultation with the PHRA_G and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Interested and Affected Parties must be consulted prior to any development