

## 8. Identified significant sites in surrounding area within Orange Grove Precinct\_Fellside

### Locality map and history of Fellside

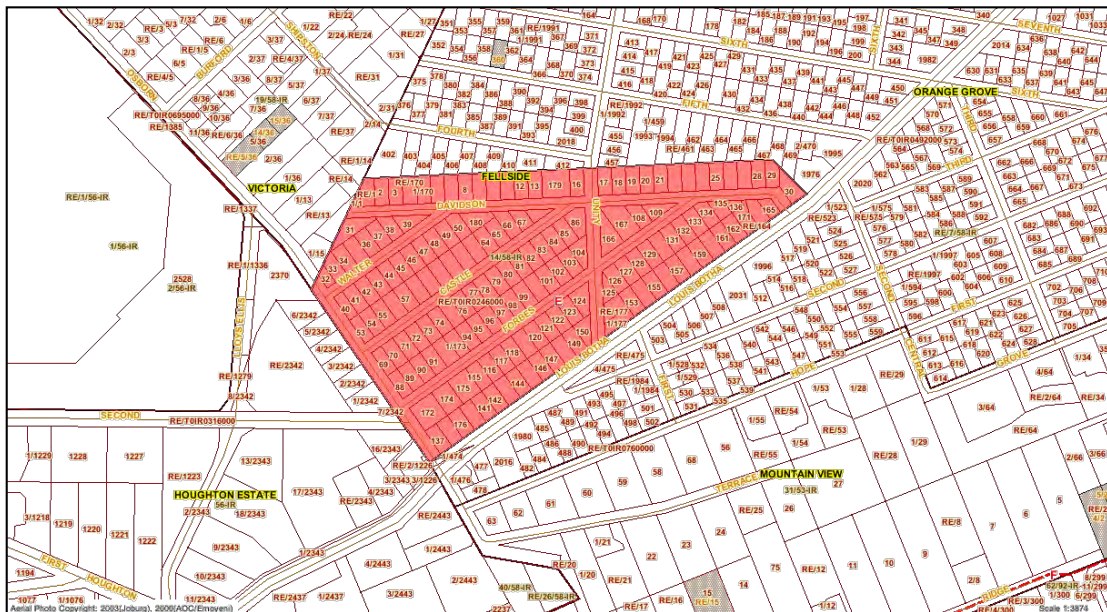


Fig. 179 Fellside is located along the north-western side of Louis Botha Avenue, bordering Orange Grove to the North and South, Houghton Estate and Victoria to the western side (Source: City Council of Johannesburg, GIS map)

Fellside consists of mostly single storey freestanding residences which were built around the 1920s and forms part of the Heritage Impact Assessment study area. A number of sites were identified to show the existing original houses within the area and to give some examples of architectural styles in Fellside.



Fig. 180 Typical streetscape with rows of Plane trees in Fellside (Source: tsica heritage consultants, 2015)

Most of the houses were altered and added on over time and the original structure is not visible anymore. The boundary walls are a visual barrier to get a clear overview of the existing buildings in the area.

### **Introduction to residential category**

Residential buildings are buildings that are generally used for residential purposes or have been zoned for residential usage. It must be noted the majority of residences are over 60 years, it was therefore imperative for detailed visual study to be done where the most significant buildings were mapped out. Their significance could be as a result of them being associated to prominent figures, association with special events, design patterns of a certain period in history, rarity or part of an important architectural school. Most of the sites identified in this category are of importance in their local contexts and are representative of the historical and cultural patterns that could be discerned from the built environment. All the identified sites were given a 3A category explained below.

### **Grading**

3A\_ Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B\_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C\_ Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

### **Summary Table of identified sites in the residential category:**

<b>Site/ Stand No.</b>	<b>Description</b>	<b>Provisional Grading</b>	<b>Heritage Implications</b>
67	Single storey freestanding building with centrally located stoep	3A	Conservation highly recommended
125	Double storey residence with slate tiled roofing	3A	Conservation highly recommended

## 8.1 Single storey freestanding building with centrally located stoep\_Stand 67

Address	29 Castle Street
Stand No.	67
Current Zoning	Residential 1
Year of erection	1927
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Single storey freestanding residence with centrally located front stoep with columns supporting the stoep roof. The three bedroomed house was designed in 1927 and is still in a very good original condition. It is a good example of the freestanding houses in close proximity to Louis Botha Avenue.</p>	

### Locality Map



Fig. 181 Stand 67 is located north-eastern side of Castle Street and South of Davidson Street within the residential area of Fellside  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 67

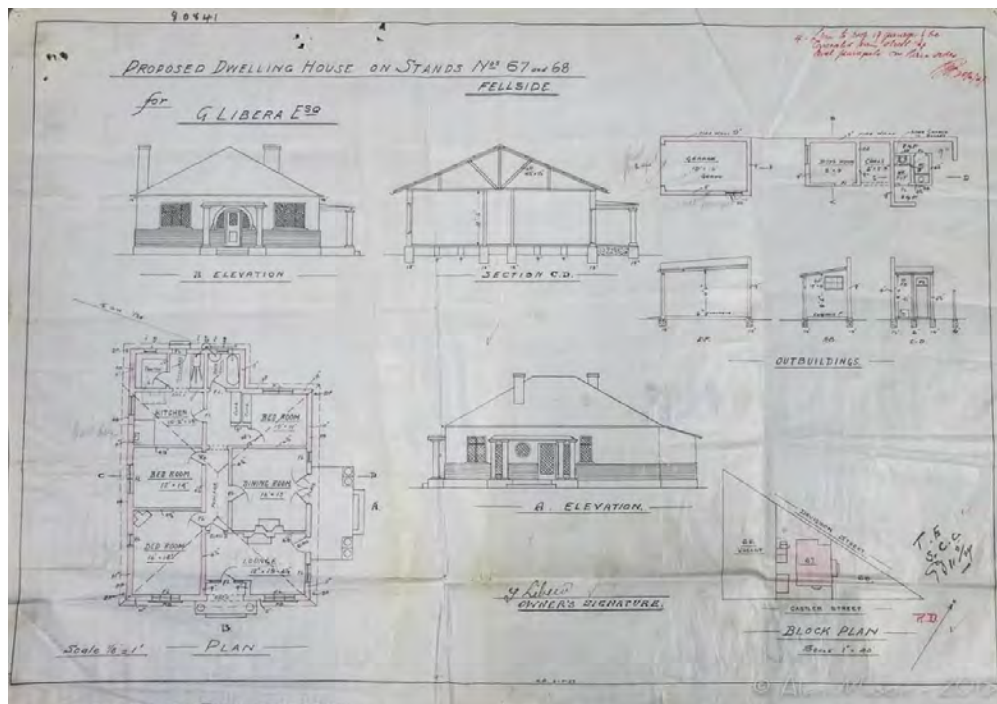


Fig. 182 Plan for proposed dwelling house on Stand 67 & 68  
Typical example of single storey freestanding house with centrally located stoep, an additional stoep was built on side elevation  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 183 Single storey residence with corrugated iron roofing and centrally located front stoep covering the arched main entrance, face brick detailing like building edges and arched entrance are still in very good condition  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>Well preserved freestanding single storey residence from late 1920s forms part of a unique streetscape within Fellside and it is therefore recommended that the building needs to be preserved.</p>
<p><b>Transport</b></p> <p>Sites fall out of main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site falls out of mixed-use development</p>	<p><b>Recommendations</b></p> <p>Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	Typical freestanding residence with centrally located column supported stoep forms part of a unique streetscape and is in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1920s freestanding residence could form part of architectural historical walking tour within Orange Grove

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 8.2 Double storey residence with slate tiled roofing\_Stand 125

Address	4 Unity Street
Stand No.	125
Current Zoning	Residential 1
Year of erection	1936
Architect	A.R. Harris
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Double storey residence which forms part of the residential area of Fellside along the north-eastern side of Louis Botha Avenue. The house was designed by the architect A.R. Harris which designed an octagonal shaped floor plan along the northern section of the house. The face brick decorated main entrance area is incorporating the chimney of the lounge and is still in a very good original condition.</p>	

### Locality Map



Fig. 184 Stand 125 is located north-eastern side of Louis Botha Avenue and East of Unity Street within the residential area of Fellside  
(Source: City Council of Johannesburg, GIS map)





## Identifying Images



Fig. 186 Double storey slate tiled roofed residence in close proximity to Louis Botha Avenue in Fellside  
(Source: tsica heritage consultants, 2015)



Fig. 187 Main entrance area with face brick decoration and chimney above along Unity Street  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>Well preserved freestanding double storey residence from 1930s forms part of a unique streetscape within Fellside and it is therefore recommended that the building needs to be preserved.</p>
<p><b>Transport</b></p> <p>Sites fall out of main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site falls out of mixed-use development</p>	<p><b>Recommendations</b></p> <p>Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	Double storey slate tiled roof residence forms part of a unique streetscape and is in a fairly good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 9. Identified significant sites in surrounding area within Orange Grove Precinct\_Maryvale

### Locality map and history of Maryvale

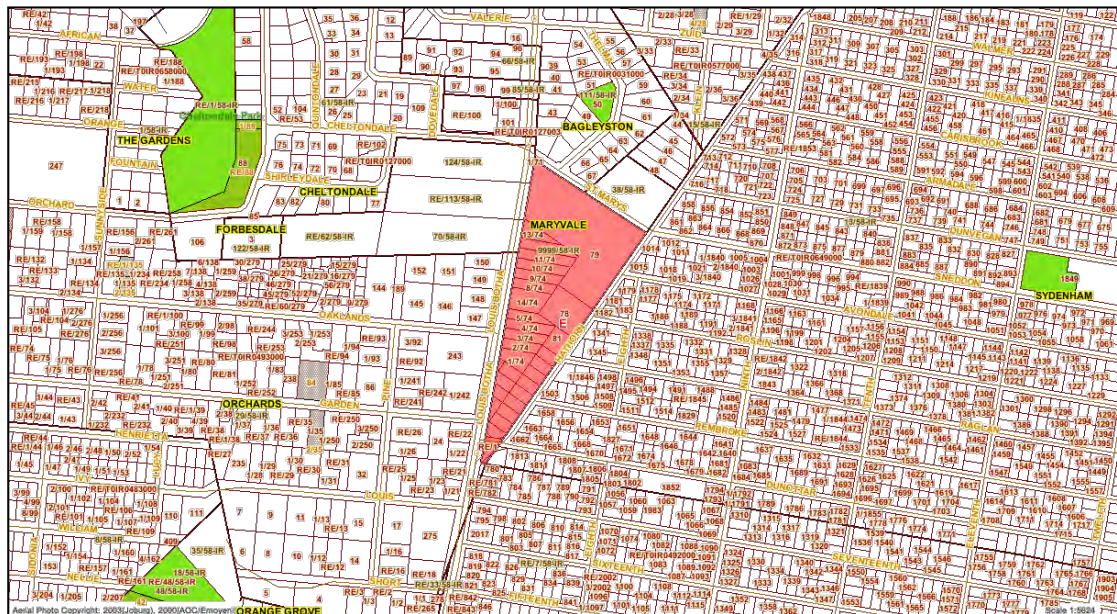


Fig. 188 Maryvale is a triangular shaped small suburb and is located along the eastern side of Louis Botha Avenue following Orange Grove in northern direction, the suburb borders Sydenham to the East, Orchards and Forbesdale to the West and Bagleyston to the North (Source: City Council of Johannesburg, GIS map)

The suburb Maryvale is well-known for the Maryvale College, Primary and High School which is located along the north-eastern side of the suburb east of Louis Botha Avenue and was established in 1939. Additional school properties are located on the opposite side of Louis Botha Avenue in western direction. Most of the properties along the eastern side of Louis Botha Avenue in Maryvale are used for businesses and partly residential.



Fig. 189 View along Louis Botha Avenue with Maryvale located on the left hand side (Source: tsica heritage consultants, 2015)

### **Introduction in the institutional category**

A detailed visual survey was done in the area and various institutions listed below were identified as having historical, architectural and social significance. Most of the residents lives or their histories are entwined with these sites and buildings. Most of the sites have well documented histories and most are in good condition with their integrity and character having been preserved throughout the decades. It was therefore for this reason that all the sites in this category were graded with a 3A grading explained below. We however also acknowledge that most of the private institutions mentioned below have a low risk profile as they cannot easily be changed however their immediate surroundings must continue to support the character of the significant sites. Public institutions being of different nature have a higher risk profile as development on the site could be attained more easily.

### **Grading**

3A\_ Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B\_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C\_ Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

### **Summary Table of identified sites in the institutional category:**

<b>Site/ Stand No.</b>	<b>Description</b>	<b>Provisional Grading</b>	<b>Heritage Implications</b>
79	Double storey educational facilities, Maryvale College	3A	Conservation highly recommended

## 9.1 Double storey educational facilities\_Maryvale College\_Stand 79

Address	10 St. Mary's Road
Stand No.	79
Current Zoning	Educational
Year of erection	1939
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
Double storey face brick building block used as school buildings from Maryvale College which was established in 1939 in that area. Further school facilities are located on the opposite side of Louis Botha Avenue. Historically the school plays an important role within the suburb and needs to be protected.	

### Locality Map



Fig. 190 Stand 79 is located along the north-eastern side of Maryvale, East of Louis Botha Avenue

(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Images



Fig. 191 School buildings consists of double storey face brick buildings with low pitched tiled roofing and classical decorative elements around the main entrance  
(Source: tsica heritage consultants, 2015)



Fig. 192 The original red brick church from Maryvale was opened in 1938 and forms part of the Maryvale College school grounds  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b></p> <p>The school building complex is located along the northern boundary line of Maryvale and forms part of a unique streetscape along St Mary's Road and it is therefore recommended that the building needs to be preserved.</p>
<p><b>Transport</b></p> <p>BRT Station is planned in the immediate surroundings of the site</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site not within a mixed-use development zone</p>	<p><b>Recommendations</b></p> <p>Site is already adjacent to residential and religious buildings and building heights in this area are one storey to maximum 2 storeys. Recommend to maintain building heights around the site. But development can be encouraged further from the site.</p>

### Conservation Management Policies\_Grade 3A\_Institutional sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places were a lot of community programs and events take place they therefore occupy important spaces of historical and social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.



## Swot Analysis

Analysis	Result
Strength	The double storey face brick school is in very good condition and original features are still in place, it has architectural significance and forms part of a unique streetscape along the northern section of Maryvale  Building structures have a unique well documented history.
Weakness	Not applicable
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected in close proximity to the site
Strength/Opportunity	High Density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_Institutional sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### **Introduction in the residential category**

Residential buildings are buildings that are generally used for residential purposes or have been zoned for residential usage. It must be noted the majority of residences are over 60 years, it was therefore imperative for detailed visual study to be done where the most significant buildings were mapped out. Their significance could be as a result of them being associated to prominent figures, association with special events, design patterns of a certain period in history, rarity or part of an important architectural school. Most of the sites identified in this category are of importance in their local contexts and are representative of the historical and cultural patterns that could be discerned from the built environment. All the identified sites were given a 3A category explained below.

### **Grading**

3A\_ Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B\_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C\_ Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

### **Summary Table of identified sites in the residential category:**

<b>Site/ Stand No.</b>	<b>Description</b>	<b>Provisional Grading</b>	<b>Heritage Implications</b>
14	Single storey freestanding building with centrally located stoep	3A	Conservation highly recommended

## 9.2 Single storey freestanding building with centrally located stoep\_Stand 14

Address	15 Hathorn Avenue
Stand No.	14
Current Zoning	Residential 1
Year of erection	1939
Architect	Theophile Schaerer
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Single storey freestanding residence with centrally located front stoep with columns supporting the stoep roof. The three bedroomed house was designed in 1939 and is still in a very good original condition. It is a good example of the freestanding houses in close proximity to Louis Botha Avenue.</p>	

### Locality Map



Fig. 193 Stand 14 is located north-eastern side of Castle Street and South of Davidson Street within the residential area of Fellside  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 14

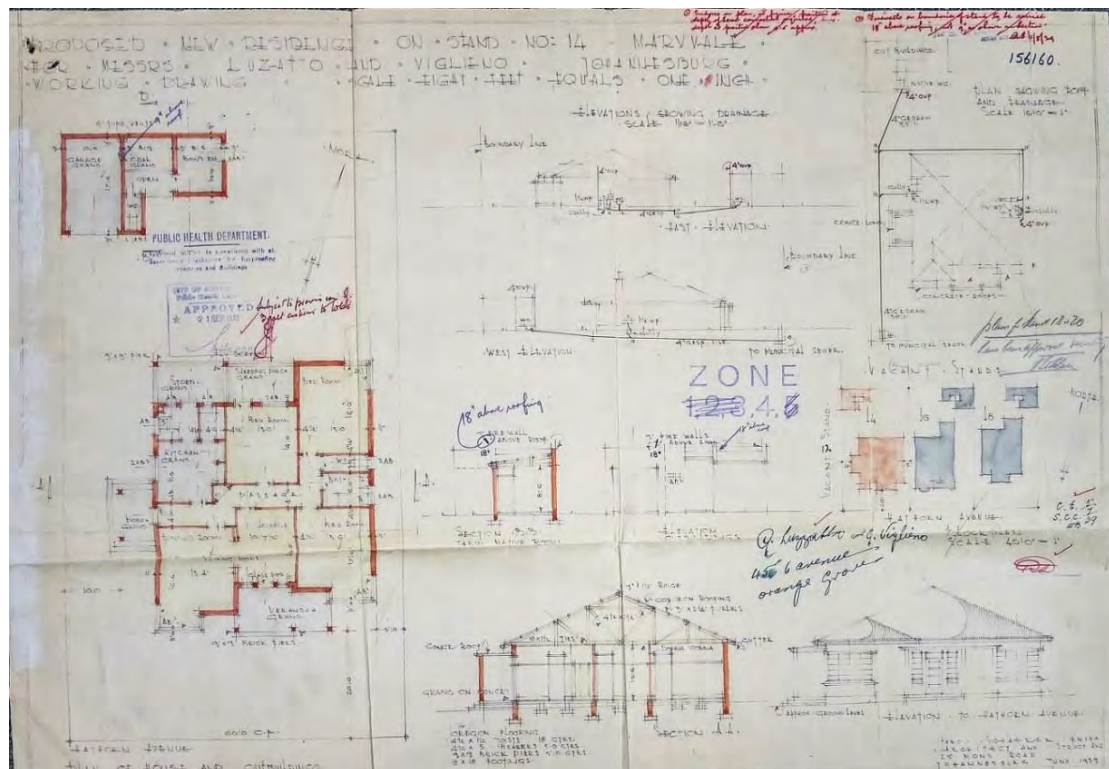


Fig. 194 Plan for proposed new residence on Stand 14 in Maryvale from 1939 by the architect Theo Schaerer  
 Typical example of single storey freestanding house with centrally located front stoep  
 (Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 195 Single storey residence with corrugated iron roofing and centrally located front stoep, all original design elements are still in a very good condition  
 (Source: Google maps, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>Well preserved freestanding single storey residence from late 1930s forms part of a unique streetscape within Maryvale and it is therefore recommended that the building needs to be preserved.</p>
<p><b>Transport</b></p> <p>Sites fall out of main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site falls out of mixed-use development</p>	<p><b>Recommendations</b></p> <p>Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	Typical freestanding residence with centrally located stoep forms part of a unique streetscape and is in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1930s freestanding residence could form part of architectural historical walking tour within Orange Grove

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 10. Identified significant sites in surrounding area within Orange Grove Precinct\_Sydenham

### Locality map and history of Sydenham

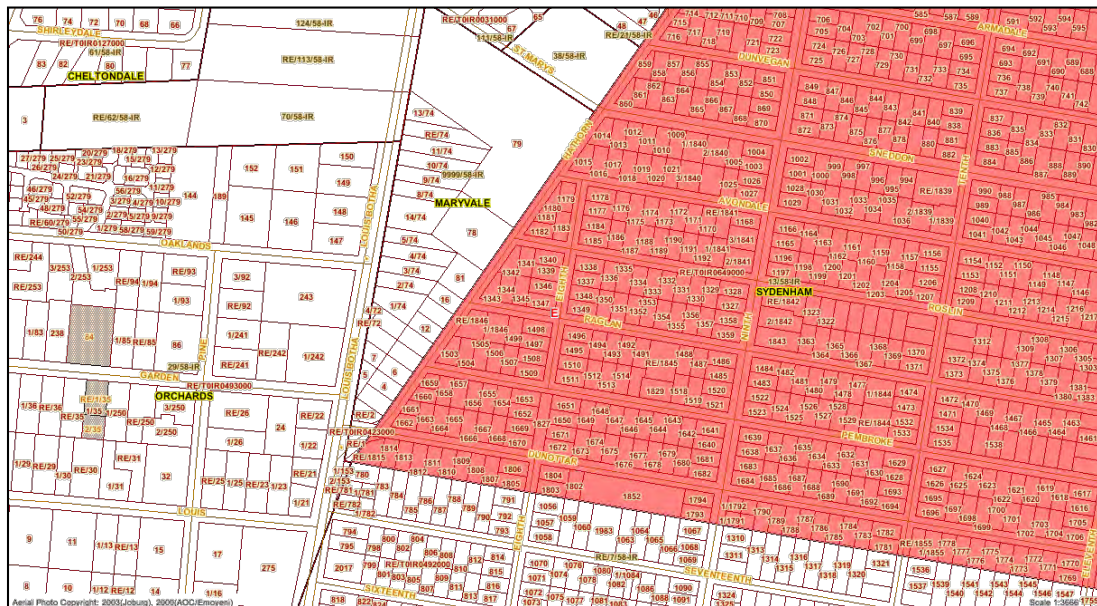


Fig. 196 Sydenham as a residential area is located along the northern boundary line of Orange Grove east from Louis Botha Avenue, Maryvale is bordering along to the south-western boundary line

(Source: City Council of Johannesburg, GIS map)

Sydenham was laid out in 1904/5 (Smith 1971:519). According to Smith the suburb carries the name of a farm that used to be based here in the late 19<sup>th</sup> century. The house 'Leith's View' was an early residence of Sydenham dating back to before the Jameson Raid (ibid). By 1910, however the suburb was still largely rural in character as seen from this photograph taken in February of that year.



Fig. 197 Sydenham was home to an airfield in the 1910s from where Alfred Kimmerling made a number of notable flights

(Source: Shorten 1970:255)



The Sydenham “flying ground” was used by Alfred Kimmerling – a well-known French aviator – to prove that it was possible to fly many thousand feet above sea-level (Shorten 1970:255). In pictures from Kimmerling’s flights, open veld and undeveloped ridges are discernable as well as large hangers for aircraft. By the 1940s Sydenham was home to a growing Jewish community with the synagogue for the Sydenham and Highlands North congregation completed in 1955 (Sydenham-Highlands North Hebrew Congregation website: History of the Shul). By 1950 however The Star reported that Sydenham was a “tightly packed suburb” with houses developed so closely together that residents considered “the township is being spoiled” (Clarke 1987:155). Today the suburb had also become home to an Italian community – attracted to the nearby Catholic Church at Maryvale and the Orange Grove Primary School.



Fig. 198 Photo in The Star depicting increasing densification.  
(Source: Clarke 1987:155)

### **Introduction in the institutional category**

A detailed visual survey was done in the area and various institutions listed below were identified as having historical, architectural and social significance. Most of the residents lives or their histories are entwined with these sites and buildings. Most of the sites have well documented histories and most are in good condition with their integrity and character having been preserved throughout the decades. It was therefore for this reason that all the sites in this category were graded with a 3A grading explained below. We however also acknowledge that most of the private institutions mentioned below have a low risk profile as they cannot easily be changed however their immediate surroundings must continue to support the character of the significant sites. Public institutions being of different nature have a higher risk profile as development on the site could be attained more easily.

### **Grading**

3A\_ Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B\_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C\_ Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

### **Summary Table of identified sites in the institutional category:**

<b>Site/ Stand No.</b>	<b>Description</b>	<b>Provisional Grading</b>	<b>Heritage Implications</b>
1642 to 1682	Orange Grove Primary School, single storey red face brick educational facilities	3A	Conservation highly recommended

## 10.1 Orange Grove Primary School\_ single storey educational facilities\_Stand 1642 to 1682

Address	24 Pembroke Street
Stand No.	1642 to 1682
Current Zoning	Educational
Year of erection	Around 1930's
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Single storey face brick buildings with low pitched corrugated iron roof with air vents and original gabled entrance. (Further research in progress)	

### Locality Map



Fig. 199 Stands 1640 to 1682 are located along the northern side of Dunottar Street, North of Orange Grove boundary line  
(Source: City Council of Johannesburg, GIS map)

**No original plans were sourced!**

## Identifying Image



Fig. 200 School buildings consists of single storey red face brick buildings with low pitched corrugated iron roofing and with air vents and gabled entrance  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b> The Orange Grove primary school is centrally located within the residential area of Sydenham. Effort should be made to maintain the same building heights in direct surroundings of the site.</p>
<p><b>Transport</b> Sites fall out of main BRT route transit spine</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Social Cluster Development</b> No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b> Not applicable.</p>
<p><b>Mixed-use Development</b> Site not within a mixed-use development zone</p>	<p><b>Recommendations</b> Site is already adjacent to residential buildings and building heights in this area are one storey. Recommend to maintain building heights around the site. But development can be encouraged further from the site.</p>

## Conservation Management Policies\_Grade 3A\_Institutional sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places were a lot of community programs and events take place they therefore occupy important spaces of historical and social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.

## Swot Analysis

Analysis	Result
Strength	The site is in very good condition and original features are still in place, it has architectural significance and forms part of a unique streetscape along the northern section of Sydenham.
Weakness	Not applicable
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected
Strength/Opportunity	High Density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_ Institutional sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## Introduction in the residential category

Residential buildings are buildings that are generally used for residential purposes or have been zoned for residential usage. It must be noted the majority of residences are over 60 years, it was therefore imperative for detailed visual study to be done where the most significant buildings were mapped out. Their significance could be as a result of them being associated to prominent figures, association with special events, design patterns of a certain period in history, rarity or part of an important architectural school. Most of the sites identified in this category are of importance in their local contexts and are representative of the historical and cultural patterns that could be discerned from the built environment. All the identified sites were given a 3A category explained below.

### Grading

3A\_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

3B\_ Buildings of marginally lesser significance (possibility of sensitive alteration and addition to the interior)

3C\_Buildings and or sites whose significance is in large part significance that contributes to the character of significance of the environs (possibility for alteration and addition to the exterior)

### Summary Table of identified sites in the residential category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
1002	Single storey freestanding building with centrally located stoep	3A	Conservation highly recommended
1026 & 1003	Double storey residence with clay tiled roofing	3A	Conservation highly recommended



## 10.2 Single storey freestanding building with centrally located stoep\_Stand 1002

Address	26 Sneddon Street & cnr Ninth Avenue
Stand No.	1002
Current Zoning	Residential 1
Year of erection	1922
Architect	Che Hosring (sic)
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>Single storey freestanding residence with centrally located front stoep with columns supporting the stoep roof. The three bedroomed house was designed in 1939 and is still in a very good original condition. It is a good example of the freestanding houses in close proximity to Louis Botha Avenue.</p>	

### Locality Map

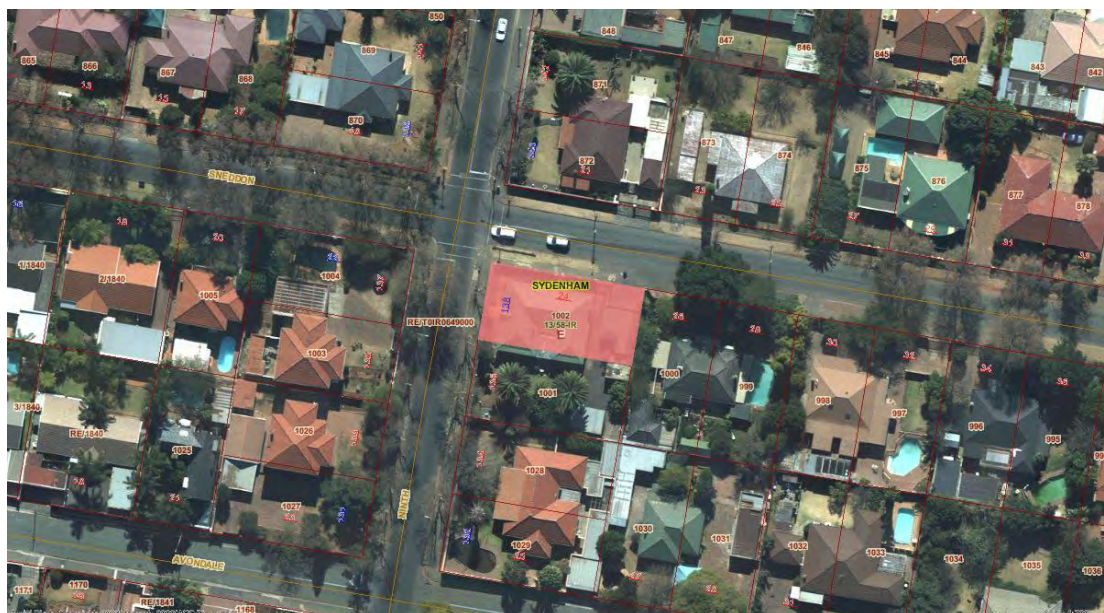


Fig. 201 Stand 1002 is located on the south-eastern corner of Sneddon Street and Ninth Avenue within the residential area of Sydenham  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 1002

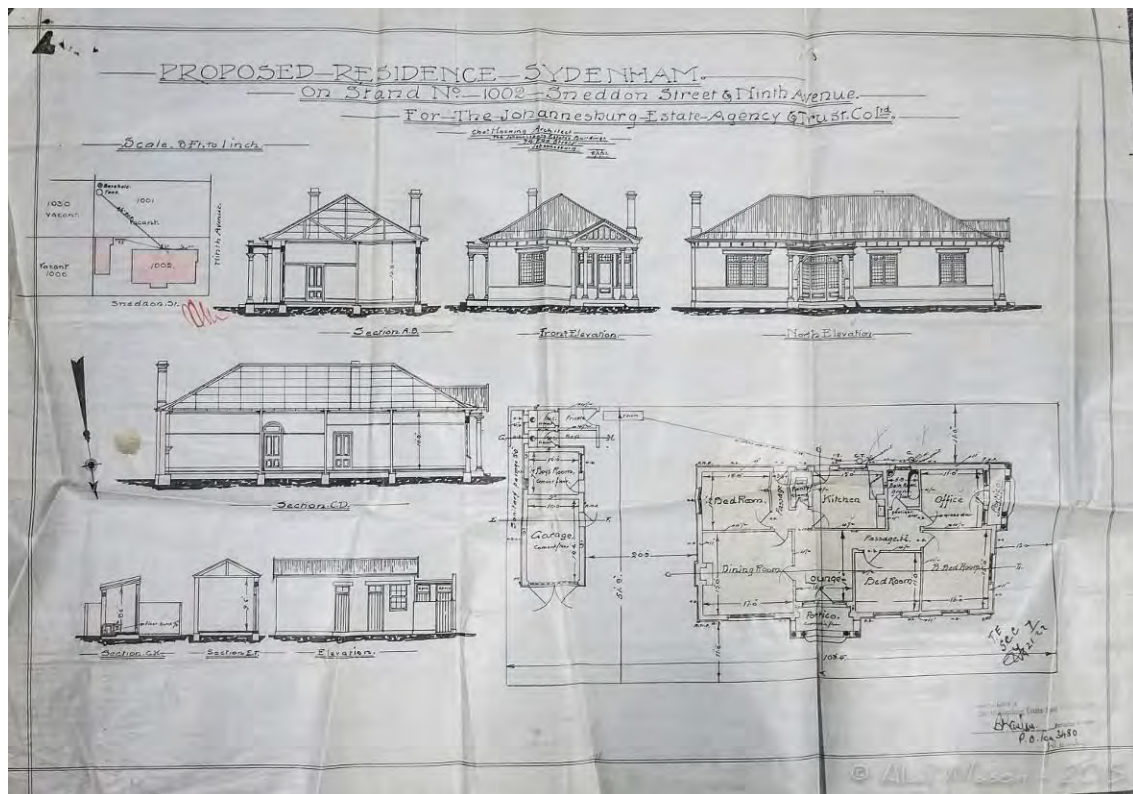


Fig. 202 Plan for proposed residence on Stand 1002 in Sydenham from 1922  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 203 Single storey residence with corrugated iron roofing and centrally located front stoep, all original design elements are still in a very good condition  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>Well preserved freestanding single storey residence from the early 1920s forms part of a unique streetscape within Sydenham and it is therefore recommended that the building needs to be preserved.</p>
<p><b>Transport</b></p> <p>Site falls out of main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site falls out of mixed-use development</p>	<p><b>Recommendations</b></p> <p>Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	Typical freestanding residence with centrally located stoep forms part of a unique streetscape and is in a very good condition and most of the original features are still in place
Weakness	Minimal alterations were done to the residence
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1920s freestanding residence could form part of architectural historical walking tour within Orange Grove

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 10.3 Double storey residence with clay tiled roofing \_Stand 1026 & 1003

Address	133 & 135 Ninth Avenue
Stand No.	1026 & 1003
Current Zoning	Residential 1
Year of erection	1936
Architect	Unknown
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
Two double storey residences from 1936 which form part of the residential area of Sydenham along the north-eastern side of Louis Botha Avenue. Good examples of 1930's double storey building designs with low pitched roofing and arched entrance stoep with balcony above. Originally were five residences planned for that area.	

#### Locality Map

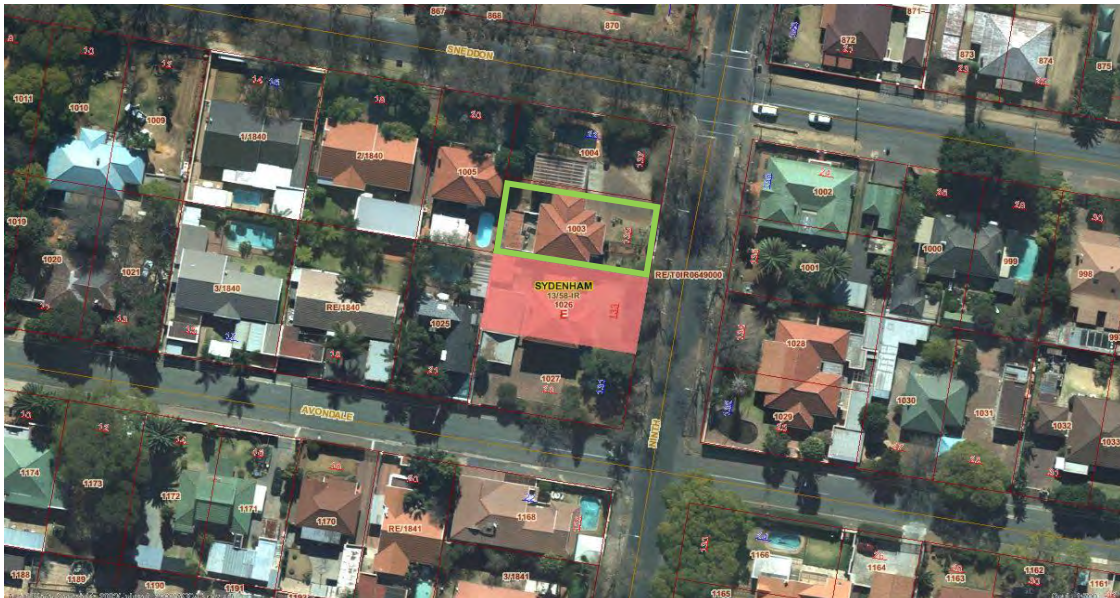


Fig. 204 Stand 1026 & 1003 are located west of Ninth Avenue within the residential area of Sydenham  
(Source: City Council of Johannesburg, GIS map)

## Original plans for Stand 1025/6/7

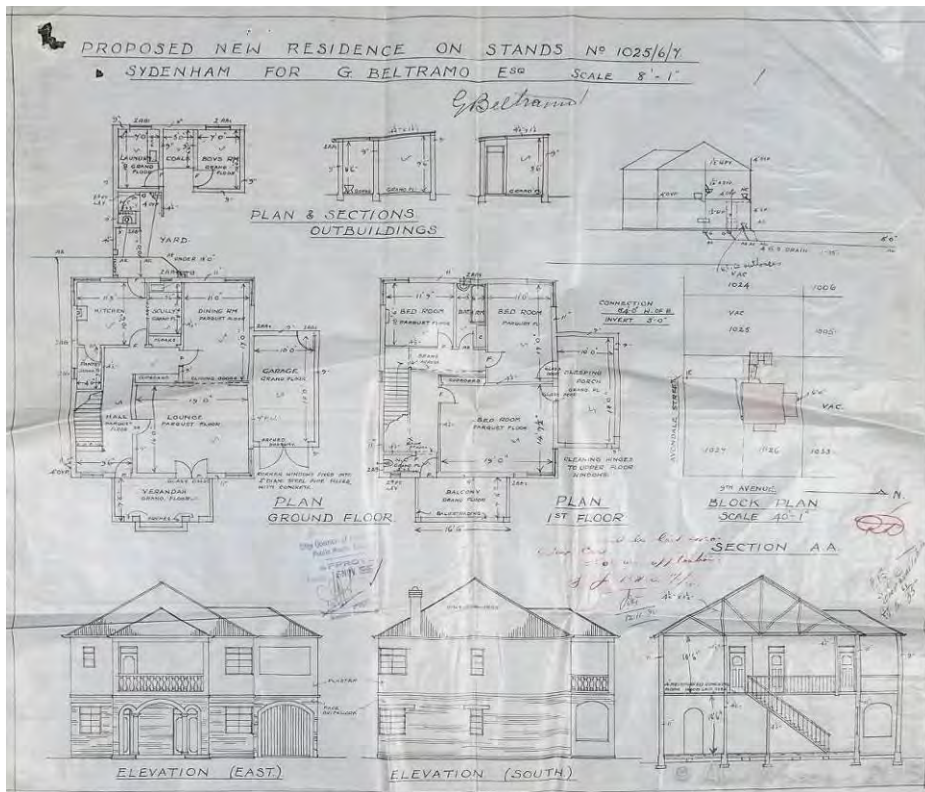


Fig. 205 Plan for proposed residences on Stands 1025/6/7  
 Double storey three bedroomed house with tiled roofing and sleeping porch on first floor level  
 (Source: City Council of Johannesburg, Plans Archive)

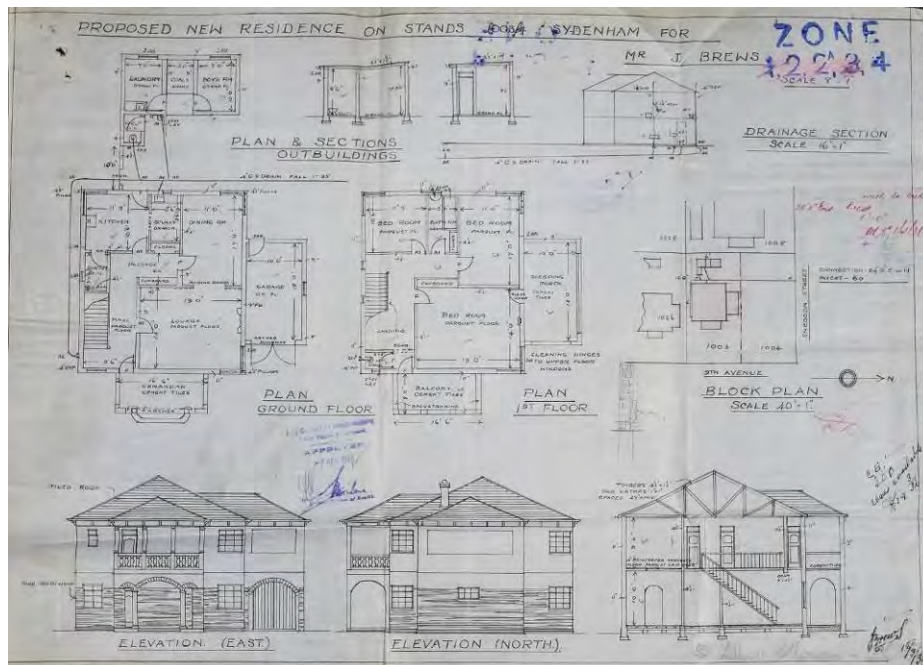


Fig. 206 Plan for proposed residences on Stands 1003/4  
 Double storey three bedroomed house with tiled roofing and sleeping porch on first floor level  
 (Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 207 Double storey tiled roofed residence within residential area of Sydenham\_Stand 1026 (Source: tsica heritage consultants, 2015)



Fig. 208 Detail of wooden trusses\_Stand 1026 (Source: tsica heritage consultants, 2015)



Fig. 209 Italian style villa with low pitched tiled roof and arched entrance stoep\_Stand 1003 (Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>Well preserved freestanding double storey residences from 1930s forms part of a unique streetscape within Sydenham and it is therefore recommended that the building needs to be preserved.</p>
<p><b>Transport</b></p> <p>Sites fall out of main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site falls out of mixed-use development</p>	<p><b>Recommendations</b></p> <p>Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.



## Swot Analysis

Analysis	Result
Strength	Typical freestanding residences with low pitched clay tiled roofing form part of a unique streetscape and is in a very good condition and most of the original features are still in place
Weakness	Added new windows changed character of original design
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1930s freestanding residences could form part of architectural historical walking tour within Orange Grove

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 11. Identified significant sites in surrounding area within Orange Grove Precinct\_Orchards

### Locality map and history of Orchards

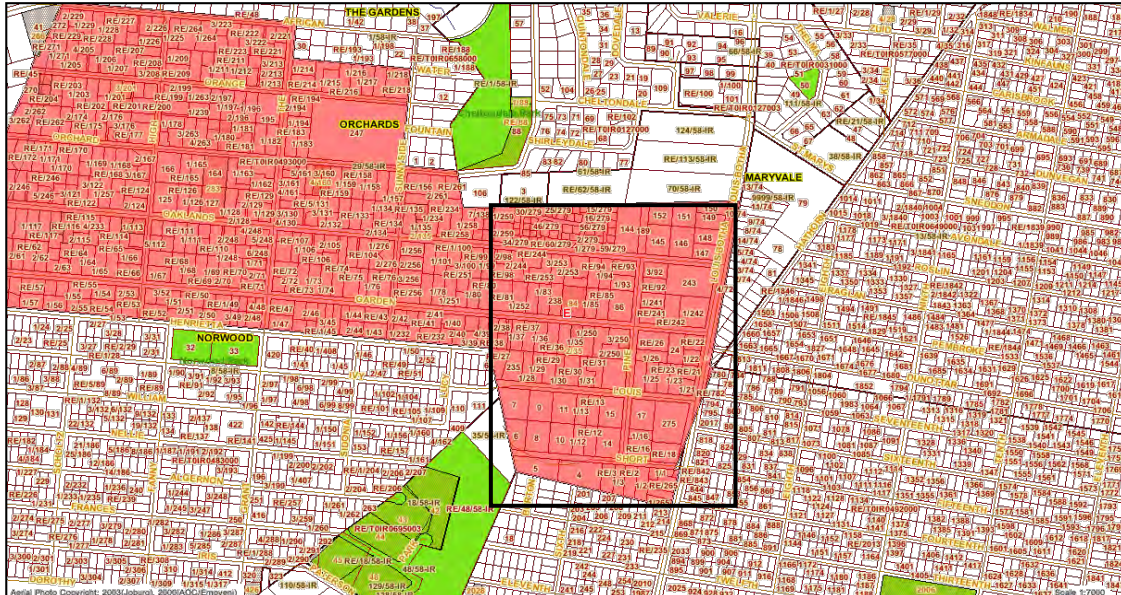


Fig. 210 The section of Orchards for the detailed heritage study is located along the western side of Louis Botha Avenue, Maryvale is bordering along the eastern side, Orange Grove and Norwood to the South and Forbesdale and The Gardens to the North (Source: City Council of Johannesburg, GIS map)

The suburbs of Orchards and The Gardens were declared in March and July 1902 respectively, in the boom that followed the South African War. Orchards was advertised as having “about 2,500 fruit trees, ornamental trees” and a “first class residence and a homestead on the estate”. Evidence of these early plantations still exists in gnarly plum and lemon trees that produce copious crops year after year in ever diminishing suburban gardens. The suburbs were well suited for fruit farming due to an abundant supply of water: the Orange Grove Spruit separates Orchards and Gardens from Oaklands and Abbotsford, and is joined by numerous streams on its journey northwards.

(Text by Brett McDougall, Member of ‘The Johannesburg Heritage Foundation’)

## Introduction in the residential category

Residential buildings are buildings that are generally used for residential purposes or have been zoned for residential usage. It must be noted the majority of residences are over 60 years, it was therefore imperative for detailed visual study to be done where the most significant buildings were mapped out. Their significance could be as a result of them being associated to prominent figures, association with special events, design patterns of a certain period in history, rarity or part of an important architectural school. Most of the sites identified in this category are of importance in their local contexts and are representative of the historical and cultural patterns that could be discerned from the built environment. All the identified sites were given a 3A category explained below.

### Summary Table of identified sites in the residential category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
2/250	'The Kraal' by Hermann Kallenbach, single storey residential building now used as a museum	3A	Conservation highly recommended
144 & 145	The Good Shepherds Home_double storey red face brick building from 1919	3A	Conservation highly recommended

## Introduction in the religious category

Historically, religious buildings are an important indicator of the societal make up, therefore churches often hold an important historical repository. The churches continue to hold a social and spiritual significance in the community as places of worship. A visual street by street survey was done and all of the churches in the area mapped singled out as significant these were either significant because of their historical and architectural significance or because of the social standing they may have in the community. All the sites in this category were graded with 3A grading explained below only were a church building structure is used for a different purpose grading could be 3B or 3C. We however also acknowledge that most of the religious buildings mentioned below have a low risk profile as they cannot easily be changed however their immediate surroundings must continue to support the character of the significant sites.

### Summary Table of identified sites in the religious category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
32	Pine Street Shul_concrete structure from 1959 by Abramowitch, Pinshaw and Schneider	3A	Conservation highly recommended
17	Synagogue for the North Eastern Hebrew Congregation from 1946 by W. Percik_yellow face brick structure	3A	Conservation highly recommended
86	St. Giles, Presbyterian Church from 1956_red face brick church building	3A	Conservation highly recommended

### Introduction in the institutional category

A detailed visual survey was done in the area and various institutions listed below were identified as having historical, architectural and social significance. Most of the residents lives or their histories are entwined with these sites and buildings. Most of the sites have well documented histories and most are in good condition with their integrity and character having been preserved throughout the decades. It was therefore for this reason that all the sites in this category were graded with a 3A grading explained below. We however also acknowledge that most of the private institutions mentioned below have a low risk profile as they cannot easily be changed however their immediate surroundings must continue to support the character of the significant sites. Public institutions being of different nature have a higher risk profile as development on the site could be attained more easily.

### Summary Table of identified sites in the institutional category:

Site/ Stand No.	Description	Provisional Grading	Heritage Implications
1/13	Electrical Substation_Spark Gallery from 1938_red face brick building	3A	Conservation highly recommended

### Grading

3A\_Sites that have a highly significant association with a historic person, social grouping, historic events, public memories, historical activities, and historical landmarks (should by all means be conserved)

## 11.1 Single storey residential building\_’The Kraal’\_Kallenbach residence\_Stand 2/250

Address	13 Pine Street
Stand No.	2/250 (former Stand 33)
Current Zoning	Residential 1
Year of erection	1907
Architect	Hermann Kallenbach & Reynolds
Heritage Significance	Architectural, Cultural, Social
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa’s history; (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa; and
Proposed SAHRA Grading	3A (Blue plaque site)
<p><b>Site Description</b></p> <p>The Kraal which was designed and built by Hermann Kallenbach in 1907 is located in close proximity to Louis Botha Avenue in Orchards. It is a single storey residence which consists of two rondavel buildings with thatched roofing and is connected with a communal rectangular shaped dining room. Now used as a museum and guest house it was originally intended to be the home for Kallenbach and his close friend Mohandas Gandhi who lived here from 1908 to 1909.</p>	

### Locality Map

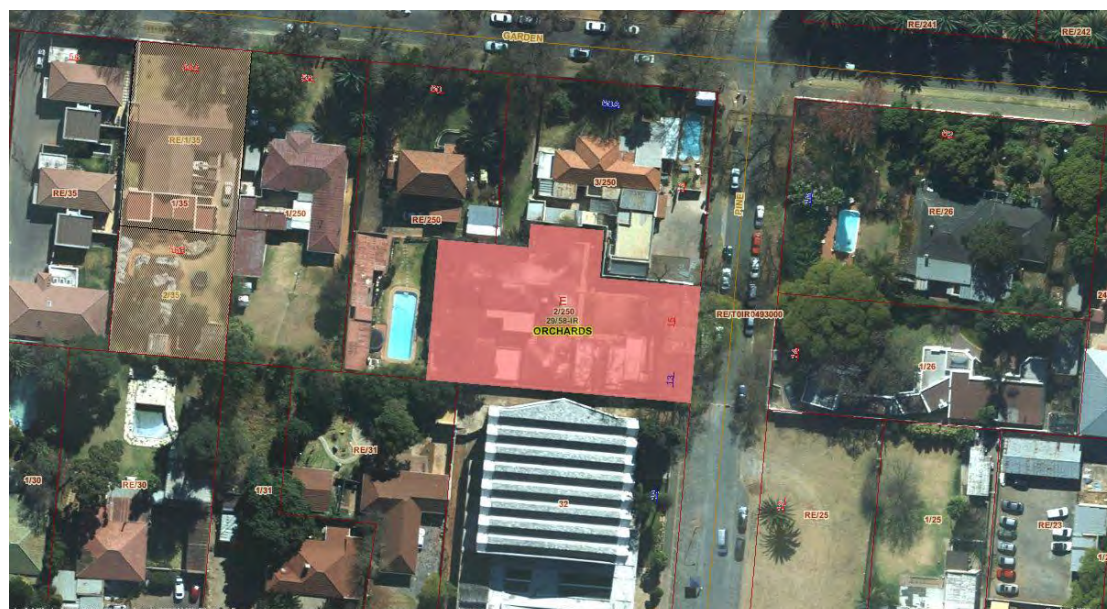


Fig. 211 Stand 2/250 is located along the western side of Pine Street, South of Garden Street in close proximity to Louis Botha Avenue  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 2/250 (former Stand 33)\_The Kraal

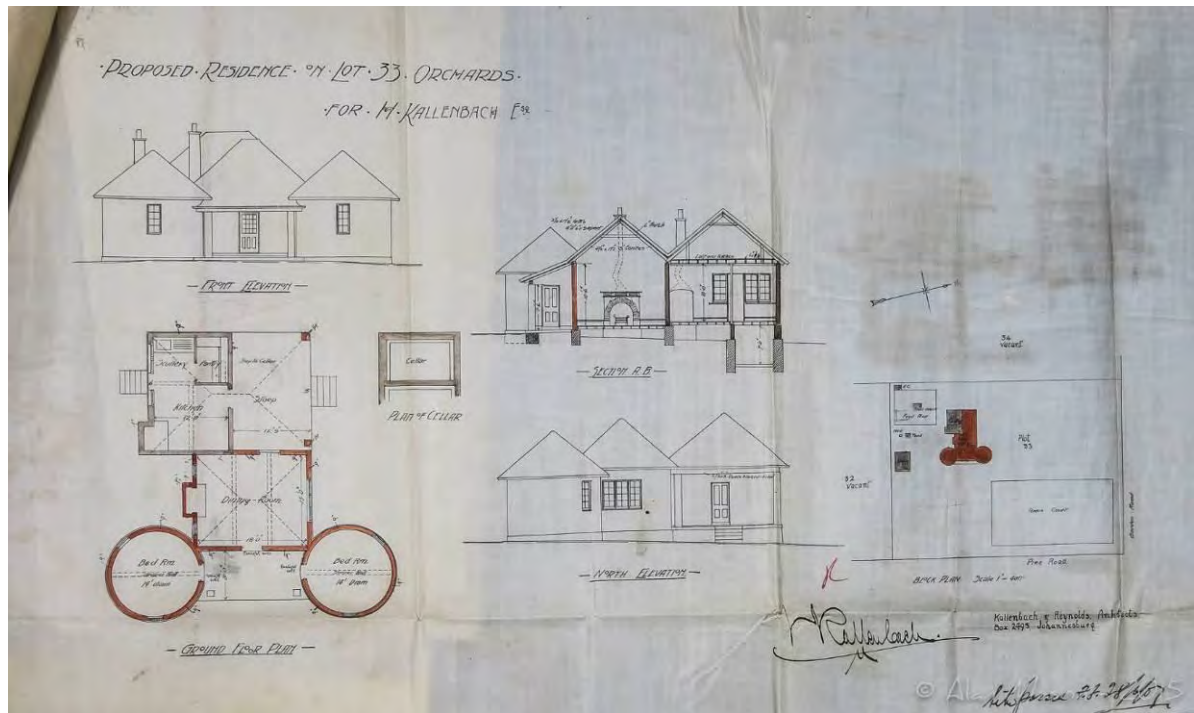


Fig. 212 Plan for proposed residences on Stand 33 (now Stand 2/250)  
Single storey residence with two separate rondavels used as bedrooms connected with a rectangular dining room  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Images



Fig. 213 View towards the main entrance of The Kraal building with the two rondavels used as bedrooms on either side  
(Source: tsica heritage consultants, 2015)



Fig. 214 Also called the Satyagraha House after the philosophy of Gandhi's non-violent struggle  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>The site from 1907 was built by the well-known architect Hermann Kallenbach for his friend Gandhi. The site was awarded a blue plaque by the City Heritage and is recommended to be graded a Grade 1 site of national importance. All proposed new developments in close proximity to the site need to be approved by PHRA-G.</p>
<p><b>Transport</b></p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site falls out of mixed-use development</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

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## Swot Analysis

Analysis	Result
Strength	The site with his architectural and cultural significance is recommended to be declared a site of national importance and will uplift the surrounding sites by forming part of a historical cluster and draw international interest to the area.
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved and documented museum site could form part of architectural historical walking tour within Orchards and direct surroundings

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in

accordance with the National Heritage Resources Act of 1999 section 34 or section 36

- Public facilitation takes place prior to any development

## 11.2 Religious institution\_Pine Street Shul\_Stand 32

Address	9 Pine Street
Stand No.	32
Current Zoning	Residential 1
Year of erection	1959
Architect	Abramowitch, Pinshaw and Schneider
Heritage Significance	Architectural, Cultural, Social, Religious
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(b) its importance in the community, or pattern of South Africa's history; (h) its strong or special association with the life or work of a person, group or organisation of importance in the history of South Africa; and
Proposed SAHRA Grading	3A
<p><b>Site Description</b></p> <p>The Pine Street Shul building complex was built in 1959 by the architectural firm Abramowitch, Pinshaw and Schneider. The concrete structure mirrors the architectural language from the 1960s. An important artistic feature along the eastern façade are the stone friezes depicting the 12 tribes of Israel by Eduardo Villa.</p>	

### Locality Map

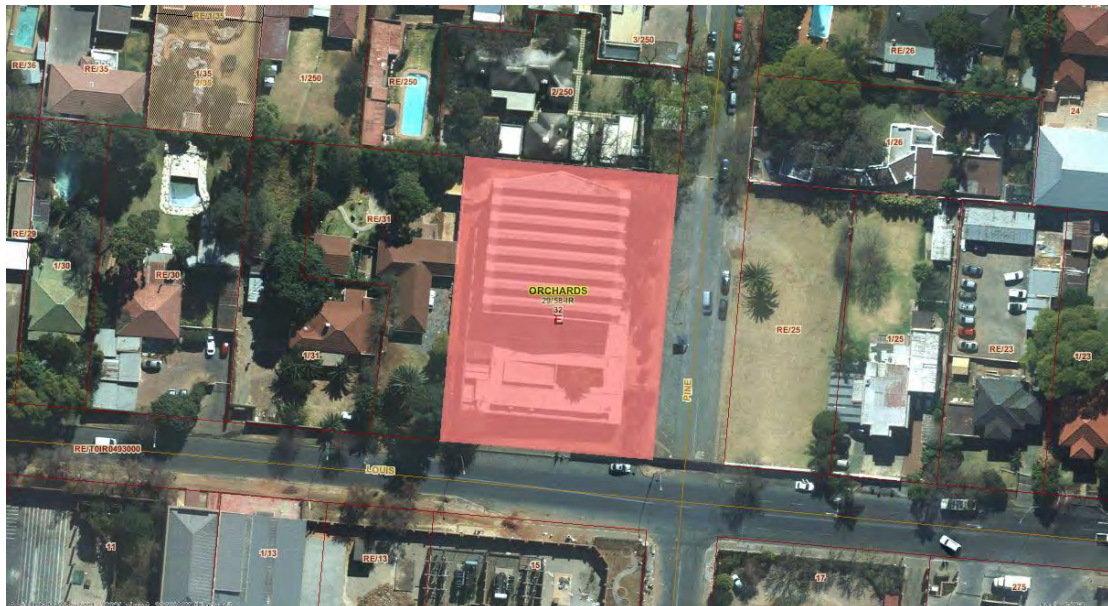


Fig. 215 Stand 32 is located along the western side of Pine Street, North of Louis Road in close proximity to Louis Botha Avenue  
(Source: City Council of Johannesburg, GIS map)

### No original plans could be sourced!

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## Identifying Images



consultants, 2015)

Fig. 216 South-eastern elevations from the Pine Street Shul from 1959  
(Source: tsica heritage



Fig. 217 Stone friezes by Eduardo Villa & Fig. 218 foundation stone of the Pine Shul building from 1959  
(Source: tsica heritage consultants, 2015)



Fig. 219 Main entrance from the Pine Street Shul from 1959  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> Shul building from around 1960s forms an important building structure within the community. It is recommended that the building needs to be preserved and all proposed new development plans around the site need to be done in a sensitive way according to existing.</p>
<p><b>Transport</b> Site falls out of main BRT route transit spine</p>	<p><b>Recommendations</b> Not Applicable.</p>
<p><b>Social Cluster Development</b> Area is not identified as social cluster</p>	<p><b>Recommendations</b> Not Applicable.</p>
<p><b>Mixed Use Development</b> Site not within a mixed use development zone</p>	<p><b>Recommendations</b> Not Applicable.</p>

## Conservation Management Policies\_Grade 3A\_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.

## Swot Analysis

Analysis	Result
Strength	The site is in very good condition and original features are still in place, it has architectural significance with its association with the important architectural firm Abramowitch, Pinshaw and Schneider. It forms an important part of the community in Orchards and of the suggested historical cluster.
Weakness	No known weaknesses
Risk/ Threat	High density development around the site could increase pressure on the site by more people visiting the Shul.
Opportunity	High density development may allow for increased usage to the site and economic and social significance of the site  Historical cluster created that can form part of historically important sites, heritage routes/tourist routes

## Conservation Management Policies\_Religious sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Make sure that no trees or structures introduced within a determined radius of the main building structures, obstruct or divert attention from the site
- Maintain a 360-degree view of the significant site

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

## **Management**

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site if alterations or additions are to be made
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

### 11.3 Religious institution\_Original Synagogue\_Stand 17

Address	6 Pine Street
Stand No.	17
Current Zoning	Business 4
Year of erection	1946
Architect	W. Percik
Heritage Significance	Architectural, Cultural, Social, Religious
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(c) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b>	
The originally designed Synagogue by architect W. Percik from 1946 shows the typical design features of the 1940's. The yellow face brick building is structured with vertical openings to break the façade and open it up to the outside.	

#### Locality Map



Fig. 220 Stand 17 is located on the south-eastern corner of Pine Street and Louis Road in close proximity to Louis Botha Avenue  
(Source: City Council of Johannesburg, GIS map)



## Original plan for Stand 17\_Synagogue for the North Eastern Hebrew Congregation

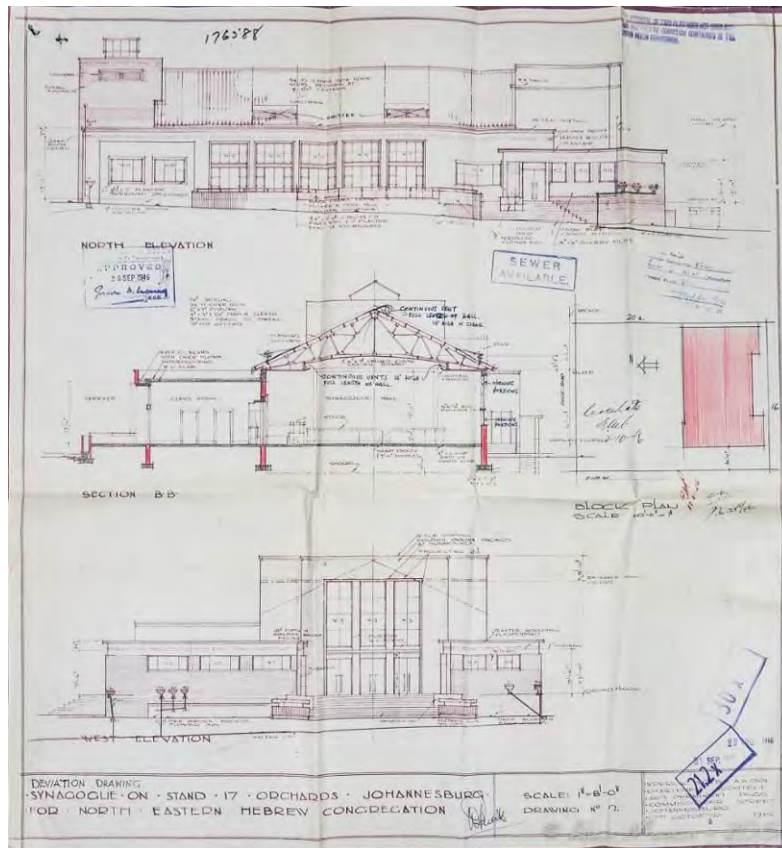


Fig. 221 Plan for proposed Synagogue on Stand 17 used as Synagogue hall Single storey religious building with main entrance from Pine Street (Source: City Council of Johannesburg, Plans Archive)

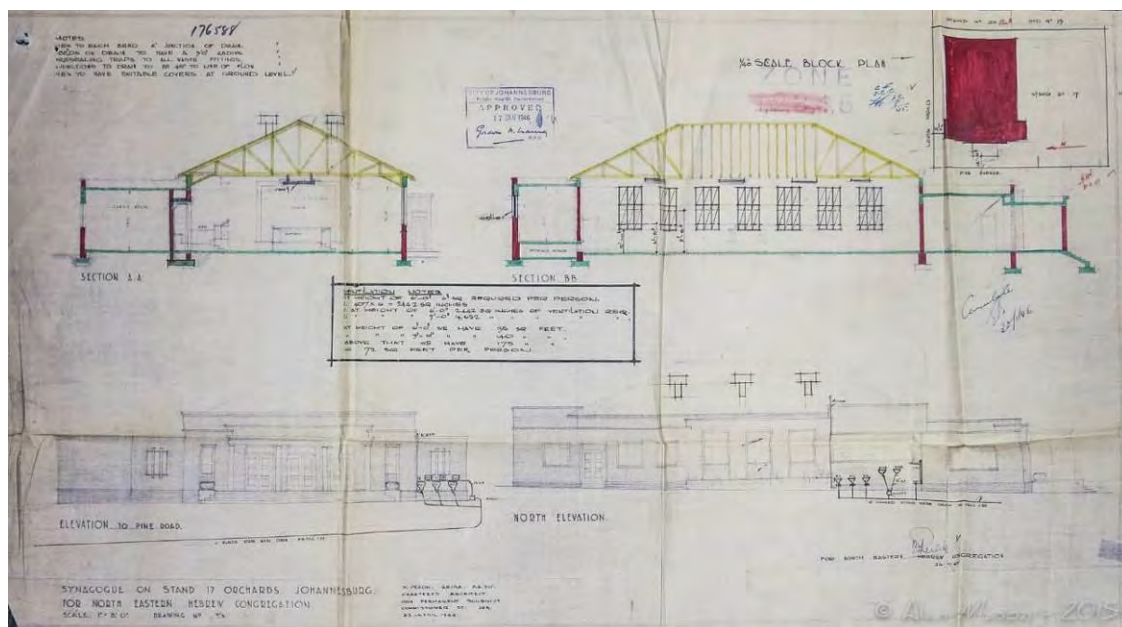


Fig. 222 Plan for proposed Synagogue on Stand 17 for North Eastern Hebrew Congregation Second single storey building on Stand 17 (Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 223 View towards the main entrance of The Kraal building with the two rondavels used as bedrooms on either side  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b> Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b> The original synagogue building from 1946 by W. Percik is not used as a synagogue anymore but still forms part of the historical cluster in the area. It is recommended that the building needs to be preserved and must be incorporated in new development plans for the area.</p>
<p><b>Transport</b> Site falls out of main BRT route transit spine</p>	<p><b>Recommendations</b> Not Applicable.</p>
<p><b>Social Cluster Development</b> Area is not identified as social cluster</p>	<p><b>Recommendations</b> Not Applicable.</p>
<p><b>Mixed Use Development</b> Site not within a mixed use development zone</p>	<p><b>Recommendations</b> Not Applicable.</p>

## Conservation Management Policies\_Grade 3A\_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.

## Swot Analysis

Analysis	Result
Strength	The site is in fairly good condition and could form part of new development plans for the area.
Weakness	New use of building changed original interior design
Risk/ Threat	High density development around the site could increase pressure on the site.
Opportunity	High density development may allow for increased usage to the site and economic and social significance of the site  Historical cluster created that can form part of historically important sites, heritage routes/tourist routes

## Conservation Management Policies\_Religious sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings
- Make sure that no trees or structures introduced within a determined radius of the main building structures, obstruct or divert attention from the site
- Maintain a 360-degree view of the significant site

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site if alterations or additions are to be made

- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 11.4 Religious institution\_St. Giles, Presbyterian Church\_Stand 86

Address	59 Garden Road & cnr Pine Street
Stand No.	86
Current Zoning	Residential 1
Year of erection	1956 & 1965 later addition
Architect	Kenneth Sievwright
Heritage Significance	Architectural, Cultural, Social, Religious
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Single storey face brick church buildings designed and built in 1956 for the Presbyterian Congregation in Orchards.	

### Locality Map



Fig. 224 Stand 86 is located on the north-western corner of Pine Street and Garden Road in close proximity to Louis Botha Avenue  
(Source: City Council of Johannesburg, GIS map)

## Original plan for Stand 86\_St. Giles, Presbyterian Church

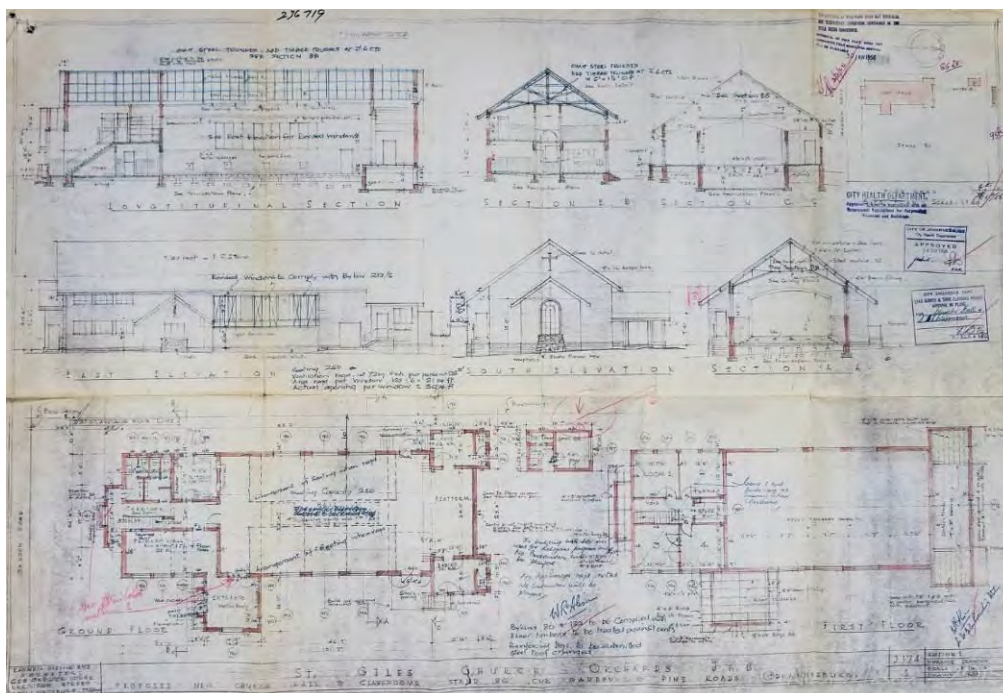


Fig. 225 Plan for proposed St. Giles new church, hall and classrooms  
(Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 226 St. Giles Church building on the corner of Pine Street and Garden Road in Orchards  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 6-8 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>Well preserved 1950s red face brick church building is located within a residential area of Orchards. Recommended lower densities to surrounding the building.</p>
<p><b>Transport</b></p> <p>Site falls out of main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not Applicable.</p>
<p><b>Social Cluster Development</b></p> <p>Area is not identified as social cluster</p>	<p><b>Recommendations</b></p> <p>Not Applicable.</p>
<p><b>Mixed Use Development</b></p> <p>Site not within a mixed use development zone</p>	<p><b>Recommendations</b></p> <p>Not Applicable.</p>

## Conservation Management Policies\_Grade 3A\_Religious Buildings

Conservation management plans (CMPs) help to guide the management and running of heritage sites. Scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A religious buildings are identified as all buildings that are used for religious purposes either in the past or in the present. Note must be taken buildings that were recognised as having heritage or historical significance are those that are either architecturally, historically or unique in the suburb or have a significant standing locally. Churches hold a special place in the social cohesion of a community and special attention was given to oral histories.



## Swot Analysis

Analysis	Result
Strength	The site is in very good condition and original features are still in place. Corner site forms part of original streetscape along residential streets in Orchards.
Weakness	No known weaknesses
Risk/ Threat	Higher densities development around the site could increase pressure on the site as more people would attend services
Opportunity	High density development may allow for increased usage to the site and economic and social significance of the site

## Conservation Management Policies\_Religious sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage building
- Make sure that no trees or structures introduced within a determined radius of the church building, obstruct or divert attention from the site
- Maintain a 360-degree view of the significant site

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the building if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

## **Future Development**

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 11.5 Double storey residential building\_The Good Shepherds Home\_Stand 144 & 145

Address	55 & 57 Oaklands Road
Stand No.	144 & 145
Current Zoning	Residential 1
Year of erection	1919
Architect	Emley Williamson
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A
<b>Site Description</b> Double storey face brick buildings designed and built in 1919 along Oaklands Road in Orchards. The building is part of a complex of buildings which were originally part of the Good Shepherds Home site. The original design was influenced by British 19 <sup>th</sup> century architecture and is still in very good condition.	

### Locality Map



Fig. 227 Stand 144 & 145 are located along the northern side of Oaklands Road in close proximity to Louis Botha Avenue  
(Source: City Council of Johannesburg, GIS map)

**Original plans for Stands 144 & 145**

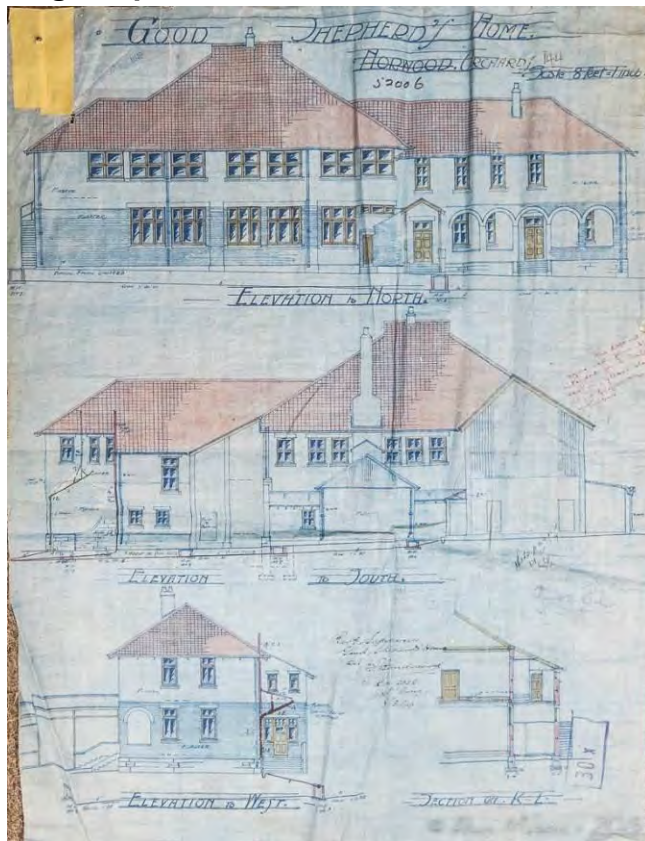


Fig. 228 Plan for proposed Good Shepherd Home on Stand 144 in Orchards  
 Double storey face brick building with high pitched corrugated iron roof  
 (Source: City Council of Johannesburg, Plans Archive)

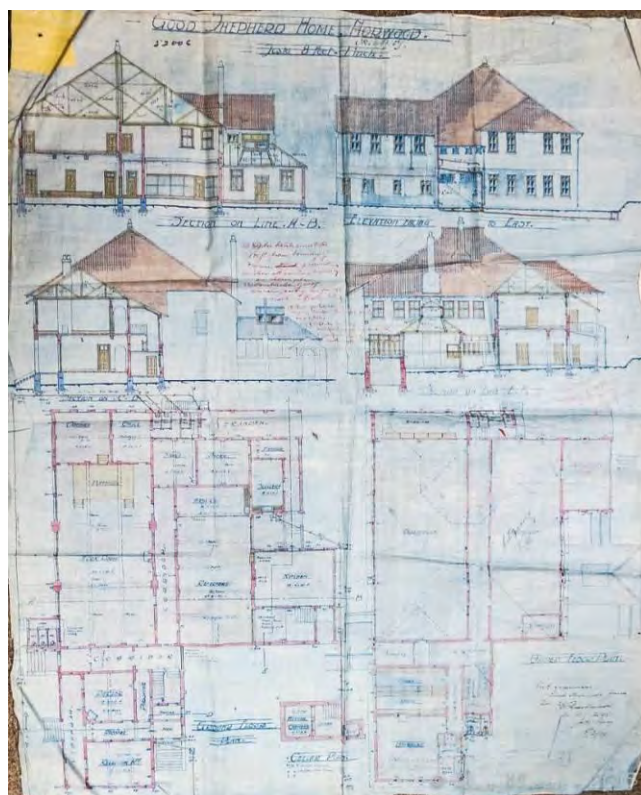


Fig. 229 Plan for proposed Good Shepherd Home on Stand 144 in Orchards  
 Elevation, Section and floor plan  
 (Source: City Council of Johannesburg, Plans Archive)

## Identifying Image



Fig. 230 Original Good Shepherd Home from 1919 along the northern side of Oaklands Road in Orchards  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 4-6 and a minimum of 2 storeys</p>	<p><b>Recommendations</b></p> <p>Well preserved freestanding double storey residence from 1919 used originally as the Good Shepherds Home forms part of a unique streetscape within Orchards and it is therefore recommended that the building needs to be preserved.</p>
<p><b>Transport</b></p> <p>Sites fall out of main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site falls out of mixed-use development</p>	<p><b>Recommendations</b></p> <p>Site is surrounded by single storey residences and it is recommended to maintain building heights to maximum two storeys in close proximity to the residence.</p>

## Conservation Management Policies\_ Grade 3A\_Residential sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites, scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. In case were development is earmarked for an area certain type of buildings can begin to diminish from a suburb, the purpose of the residential CMP is to make sure that certain type of residential buildings that exhibit, uniqueness, are aesthetically pleasing, or retain a high association with the social or cultural history are conserved and guidelines to their conservation and management are made known.

## Swot Analysis

Analysis	Result
Strength	Double storey red face brick building forms part of a unique streetscape and is in a very good condition and most of the original features are still in place
Weakness	Not applicable
Risk/ Threat	The site is located in an area of medium density development and it may change the character of the site if new buildings are erected near it
Strength/Opportunity	Well preserved 1919 freestanding residence could form part of architectural historical walking tour within Orange Grove

## Conservation Management Policies\_Residential sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant building
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity
- Integrate site into tourism route
- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## 11.6 Electrical Substation\_Spark Gallery\_Stand 1/13

Address	10 Louis Road
Stand No.	1/13
Current Zoning	Special
Year of erection	1938
Architect	City Engineers Department
Heritage Significance	Architectural
Statement of Significance (Heritage importance grading system due to the National Heritage Resources Act 25, 1999)	(a) its importance in the community, or pattern of South Africa's history;
Proposed SAHRA Grading	3A

### Site Description

The electrical substation was built in 1938 along the southern side of Louis Road in Orchards. It was originally built in two parts with a roadway in-between for trucks to access the building and the site. The face brick façade along Louis Road has outstanding design features like the circular windows and the vertical openings to underline the actual height of the building. In the 1960's the use of the substation was no longer required and was closed down. In the 1990's the Orchards Project gave the site with its buildings a new use as an art hub for the area and named it the Spark Gallery. (Information: Document on Electrical workshop, Author: Marian P. Laserson)

### Locality Map



Fig. 231 Stands 1/13 is located along the southern side of Louis Road in close proximity to Louis Botha Avenue  
(Source: City Council of Johannesburg, GIS map)



## Original plan and historical Image for Stand 1/13

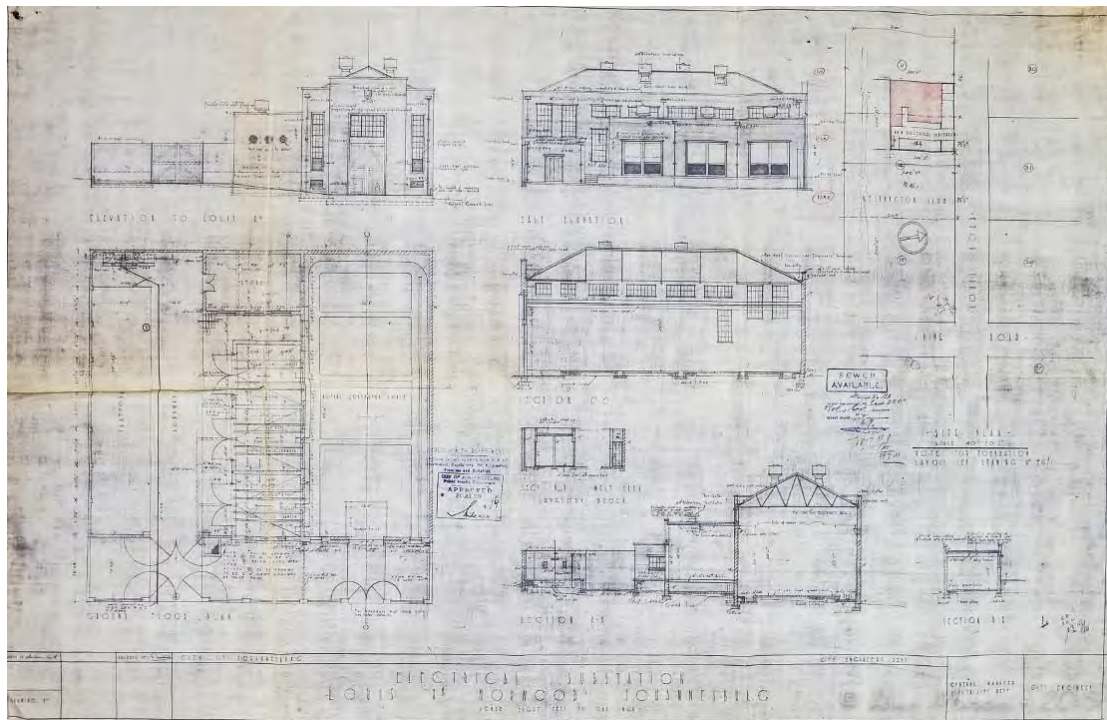


Fig. 232 Plan for proposed Electrical Substation along Louis Road, Norwood  
(Source: City Council of Johannesburg, Plans Archive)



Fig. 233 View in southern direction along Louis Road towards the Electrical substation in 1940's  
(Source: City engineer's report, City Council, 1939)

## Identifying Images



Fig. 234 Spark Gallery Originally used as the electrical substation of the City of Johannesburg along the southern side of Louis Road in Orchards  
(Source: tsica heritage consultants, 2015)



Fig. 235 Spark Gallery original main entrance to the electrical substation from Louis Road  
(Source: tsica heritage consultants, 2015)

## Impact of Proposed Development Plan on Heritage

<p><b>Densities</b></p> <p>Medium to Low densities (100-160dph) new buildings suggested maximum scale is 2-4 storeys</p>	<p><b>Recommendations</b></p> <p>The original electrical substation from 1938 is located along the southern side of Louis Road in close proximity to Louis Botha Avenue. Now used as the Spark Gallery it forms an essential part of the community activities in the area and it is recommended to keep the well re-used structure for the community in the area.</p>
<p><b>Transport</b></p> <p>Sites fall out of main BRT route transit spine</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Social Cluster Development</b></p> <p>No social cluster development is ear marked for this area</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>
<p><b>Mixed-use Development</b></p> <p>Site not within a mixed-use development zone</p>	<p><b>Recommendations</b></p> <p>Not applicable.</p>

## Conservation Management Policies\_Grade 3A\_Institutional sites

Conservation management plans (CMPs) help to guide the management and running of heritage sites. scenarios, particularly if the heritage buildings or site are earmarked for development. The CMP particularly the policies and guidelines, should be used in the preparation of future expressions of interest, development and feasibility studies, as well as by consultants planning or documenting future work. In conjunction with the SWOT analysis it becomes a useful tool in assessing the opportunities that can arise from the development as well as identify potential risk or threat of the site. 3A institutional buildings are usually buildings located sometimes in the heart of suburbs surrounded by residential properties, there are also places were a lot of community programs and events take place they therefore occupy important spaces of historical and social significance where a lot of historical events can be traced back to. It is therefore imperative that any changes made to these institutions be in accordance with conservation principles.

## Swot Analysis

Analysis	Result
Strength	The site is in very good condition and original features are still in place, it has architectural significance and forms part of a unique streetscape along the southern side of Louis Road in Orchards
Weakness	Some original features were removed or replaced on site
Risk/ Threat	Loss of the site's integrity and character if insensitive new buildings erected around the existing building structures
Strength/Opportunity	High Density development may allow for increased usage as a gallery and will increase the economic and social significance of the site

## Conservation Management Policies\_Institutional sites

### Views/Vistas

- Retain views of the aesthetically and architecturally significant buildings
- Ensure that all new buildings erected do not conflict or overpower the heritage buildings

### Fabric and Setting

- Retain and restore all the original materials, doors, window panels and other original features of the buildings if alterations are intended for the building
- If additions are to be made, then a contrasting modern materials to be used according to conservation principles

### Management

- Establish a team of heritage/conservation professionals which oversee the restoration of historical structures and the introduction of new buildings on site or near the site
- Incorporate site in local heritage tours
- Document all buildings and structures on the site
- Increase public awareness about the importance of cultural heritage and the re-use of old buildings

### Future Development

- Adaptively re-use the buildings in a manner that will not diminish – and will ideally enhance – their historical or cultural integrity

- Ensure that alterations and additions are made only after consultation with the Provincial Heritage Resources Authority (Gauteng) and in accordance with the National Heritage Resources Act of 1999 section 34 or section 36
- Public facilitation takes place prior to any development

## **12. Concluding Remarks**

The HIA and the CMP study was undertaken to fulfill the regulatory procedures that are contained in the NHRA 25 of 1999 in view of the strategic area framework. The report also serves the purpose of documenting the most culturally and significant sites found in the five HIA precincts and identifying historical clusters where such significant sites are clustered in one area. It is recognised that all the findings are based on the archival research and visual surveys that were done in these areas, the report will remain open ended until the conclusion of a public participation period in which all stakeholders interested and affected parties are welcome to contribute, comment to the report.

It is important to regard and read this report as working document for both the client, Johannesburg Development Agency and the public. Many of the sites that are included in this report are representative sites as most suburbs have buildings that are older than 60 years which may to a certain extent have inherent cultural, social, architectural or historical significance. Because of the nature of the study it was not possible to include all 60 year old sites in the report so a criterion was developed to choose the most representative, rare, unique and culturally significant sites which were given a 3A grading. These sites become visible as locally important heritage sites in their respective areas. They were then assessed individually and conservation management guidelines allotted to each of them.

Moving forward, the public participation procedure will consist of several public meetings to be held in each of HIA areas where the public will be presented with the combined HIA, CMP reports and asked for comment on the comment forms. The report will be available in the public libraries for each of the areas for 30 days after which, the period for submitting comments will be complete. All comments will then be addressed and compiled into a public participation report which will be part of the final HIA report. The final HIA report will be submitted to the PHRA\_G for consideration and approval.

### 13. Paterson Park in Orange Grove and Norwood

<b>Address</b>	12th Street Norwood
<b>Erection year of monument</b>	Circa 1920
<b>SAHRA Grading of monument</b>	2
<b>Opening of park</b>	Acquired by Council to use as a park in 1928
<b>Heritage significance</b>	Cultural and natural heritage resources
<b>Statement significance</b>	Social, historical and ecological significance
<b>C Plan Rating</b>	Critical Biodiversity Area 2

#### Introduction and historical background

Paterson Park is situated centrally in Orange Grove and Norwood. The park is split into different portions, but collectively these provide important recreational areas for the residents of these relatively high-density suburbs. The Paterson Park Recreation Centre provides an important hub of activities and programmes for the local residents, but continues to have vagrancy and crime problems.

The park is approximately 13 hectares in extent. It comprises two distinct areas, namely the site portions to the south and the north of Paterson Road. The portion to the south of Paterson Road is used and developed as a City Sports and Recreation Complex while the area to the north is used as a council nursery, bowling club, informal soccer field and a well-developed public park. The demography of the suburbs surrounding Paterson Park has changed considerably over the last decade, and the suburbs of Norwood and Orange Grove – included into one ward since 2011 (Ward 73) – represent a heterogeneous mix of culture and socio-economic population groups. The importance of maintaining a central recreational centre becomes even more important in such situations, as the park and recreation centre have the potential to assist in integrating the community, but alternatively – if badly managed – could become a centre for crime and conflict. In addition, any increase in residential density in the surrounding areas would substantially increase the ecological and social value of the park.

The park is also the site of the Sons of England War Memorial dedicated to men of the 3rd South African Infantry killed in France in 1916 at the Battle of the Somme. The memorial is registered as city-owned heritage site.

The current condition of the monument is fairly good, having had restoration work done in 2010 (by the City of Johannesburg) and in 2014 (by the Norwood

Orchards Residents Association). The wooden cross which forms the centre piece of the monument was brought back from France after the Battle of the Somme.



Fig. 236  
Original  
location of Sons  
of England War  
Memorial  
(Source:  
Museum Africa)

The Immovable Heritage Inventory Form for this monument states that the memorial, together with adjacent plantings, should be retained in the event of any planned developments. Any development applications of potential threat to the memorial should be forwarded to the Deputy Director of Immoveable Heritage. If no agreement is reached, the dispute should be referred to the provincial Heritage Resources Authority of Gauteng. The monument is currently protected under Section 37 of the Heritage Resources Act.

A number of other buildings of heritage significance also occur in the park and



adjacent to the park, which would also be potentially impacted by developments. For example, two sets of fine stone entrances at Paterson Road and Nellie Road, an ablution block dating back to the 1920s, and an industrial architecture dating from the 1930s to the 1950s.

Fig. 237 Historical image of Sons of England War memorial in Paterson Park  
(Source: Museum Africa)



## Locality map of Paterson Park

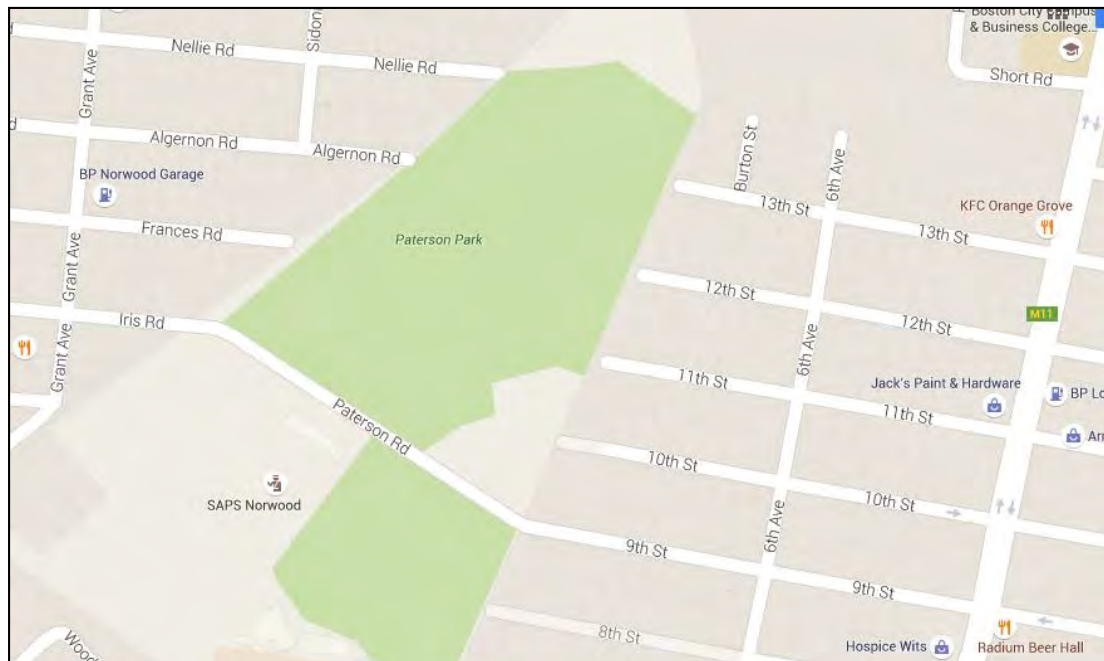


Fig. 238 The map location of Paterson Park in relation to the suburbs of Norwood and Orange Grove

(Source: [http://za.geoview.info/paterson\\_park,30952597w77](http://za.geoview.info/paterson_park,30952597w77))



Fig. 239 Sons of England War Memorial in Paterson Park

(Source: tsica heritage consultants, 2015)



Fig. 240 Inscriptions on the plaque of the Sons of England War Memorial at Paterson Park (Source: tsica heritage consultants, 2015)



Fig. 241 View in northern direction in Paterson Park with a number of valuable trees (Source: tsica heritage consultants, 2015)

The park contains many valuable trees, some as old as 100 years. The trees are a mix of exotic and indigenous trees, both of which support urban wildlife. The trees were probably originally propagated in the first council nursery situated to the north of the park. All city trees are the property of Johannesburg City Parks and removal is subject to permission and reimbursement.

## **Proposed development plan(s) for Paterson Park North**

Currently two partially overlapping development plans for the Paterson Park precinct are in the public domain. One has been proposed by the Johannesburg Development Agency (JDA) and can be viewed within the Strategic Area Framework from the Louis Botha Avenue Development Corridor and the other by the Johannesburg Property Company (JPC) which forms part of the Louis Botha Corridor SACN Conference Document. They appear uncoordinated. Two separate HIA consultants are currently involved on the two separate projects. The consultants have made some attempt to coordinate efforts and currently serve on the same stakeholder committee. The consultants involved are tsica heritage consultants (for the JDA) and Aphane Wiew Architect for Paterson Park Precinct Development-North Side (for the JPC). This report will focus on the Louis Botha Development Corridor, as is our brief. However, mitigations and recommendations made below will, in the most part, apply to both.

As a point of departure, A Paterson Park Precinct Plan does exist, which – after a reportedly rigorous process of public participation – was accepted by a joint oversight committee comprising members of the ratepayer/residents associations of Orange Grove and Norwood. The plan was presented to JPC at the end of 2005 and accepted by JPC as the comprehensive blueprint for the development of the precinct. The Regional Spatial Development Framework (RSDF) 09/10 clearly acknowledges the precinct. The full blueprint can be found on the following link:

- <https://www.dropbox.com/s/iga2qq5dmzbaipa/PATERSON%20PARK%20PRECINCT%20PLAN%20with%20pics-007.pdf?dl=0>

Alternatively:

- [http://www.joburg.org.za/index2.php?option=com\\_content&task=emailform&id=4196&itemid=198](http://www.joburg.org.za/index2.php?option=com_content&task=emailform&id=4196&itemid=198)

The recent JPC development proposals, according to the Community Residents Associations OGRA (Orange Grove Residents Association), NORA (Norwood Orchards Residents Association) and VOGWRA (Victoria, Orange Grove West Residents Association), deviate substantively from this blueprint; threatening both natural and cultural heritage resources; as well as the fabric of the community. Their objections and the details of the government-gazetted notifications can be found on the following community website: [www.nora.org.za/about-us](http://www.nora.org.za/about-us).

The Louis Botha Development Corridor currently proposes general rather than specific upgrades to the park, but emphasises the importance of green spaces – particularly with the increase in densification likely to occur along this BRT route; and suggests future infill around the park:

- Paterson Park (Northern Sections) – Reconfiguration of existing facilities and longer term infill development
- Paterson Park (Southern Sections) – Upgrading of existing facilities, new public facilities, upgrade of park and pedestrian areas

Relevant to this increase in densification; and thus the increased value of the park in terms of ecological and social services, is the Johannesburg Open Space Development Framework (Appendix A). This framework is usually updated every five years, but no updated document could be located. Of particular relevance in the report is the recommended use of the following instruments for the determination of land use changes to current green spaces within the Johannesburg Metropolitan area:

- Johannesburg Metropolitan Open Space System (JMOSS)
- Design Guidelines
- Johannesburg Open Space Framework
- COJ Wetland Audit
- COJ Catchment Management Policy
- COJ Biodiversity Strategy

**According to this Framework, the JMOSS:**

“lays the foundation of an inter-connected and managed network of open spaces supporting interactions between social, economic and ecological activities, sustaining and enhancing both ecological processes and human settlements”.

**In addition:**

The objectives of JMOSS are important considerations for spatial planning processes to ensure sustainable development.

The objectives of Sustainable Environmental Management are stated as creating a network of green open spaces; and the protection of important environmental areas.

The COJ Wetland audit is worth emphasising in this context since previous JPC development proposals, rejected before the 2005 blueprint was accepted, proposed the draining of the wetland for retail development. Not only are wetlands one of our most valuable – and rapidly diminishing – natural resources, but such building would have been within the 100 year flood line. Wetlands are still widely misperceived as swampy or marshy areas that can and should be drained to reclaim productive land. Wetlands provide very effective carbon sinks; purify water and support urban wildlife.

Johannesburg Open Space Framework, together with the RSDF also has specific proposals which relate to the Open Space Framework; and which should be consulted. These are:

- Green Network and Protective Natural Area
- Extensive Land Uses
- Economic Nodes
- Industrial
- Rural Residential
- Residential Expansion
- Potential Planning Conflict Area
- Sufficient Open Space
- Shortage of Open Space
- Freeways
- Densification Corridors

## **Recommendations and Impact of Proposed Development Plan**

### **Park and Street trees**

In disagreement with the Johannesburg Open Space Development Framework (Appendix A); residents' groups report that there are significant avenues of trees surrounding the park – on William Road, Nellie Road, Lucy Lane, Algernon Road, and Sidonia Avenue in Norwood, and on 12<sup>th</sup> Street in Orange Grove. The northern part of Paterson Park was once a nursery, and there are several trees (including Cork and Willows) that appear to be at least 100 years old. The northern boundary of the southern part of Paterson Park is bordered by a group of eucalyptus trees that are visible on aerial photos dating back to the 1930s. The historical and natural resource value of these trees should be considered in development proposals. Johannesburg City Parks should be involved.

### **Wetlands**

As with most public spaces, Paterson Park was saved as a park because it could not be developed in an economic manner. It is situated on low-lying wetland, and the Orange Grove Spruit is canalised through the park. Despite this, the park has an exceptionally high water table and many areas are too swampy to walk through. Any development needs to take cognisance of this. It is recommended that development only take place at its East and West borders,

and even there high density with a preponderance of hard and impermeable surfaces is not recommended.

### **War memorial**

This most significant heritage structure is the Sons of England War Memorial. It is recommended that this be given a greater sense of place through appropriate landscaping around it. Thought needs to be given to the appropriate development of the space surrounding the memorial – surrounding it with high-density blocks of apartments would ruin its sense of place.

### **Residential concerns**

Though not intact, the residential character surrounding Paterson Park, in both Orange Grove and Norwood, is important and should inform any developments within the park. Any developments should respect the prevailing height of structures and not exceed two storeys on the borders of Orange Grove and Norwood. Mature trees bordering Norwood in Paterson Park should not be removed, and should be used as a natural buffer between high-density developments in the park and the existing fabric of Norwood.

### **Conclusion**

Paterson Park appears to have remarkable potential – social, ecological and historical. Densification will only increase the value of the park in these respects. The information presented and recommendations made above have been consolidated from a range of interested and affected parties, most of whom understand the local issues intimately. It is highly recommended that existing plans, policies and public opinion be taken into account.

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## **Images, Maps and Plans**

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- Current photographs: tsica heritage consultants, 2015
- Google maps

**APPENDIX TO PATERSON PARK (Chapter 13)**  
**JOHANNESBURG OPEN SPACE DEVELOPMENT FRAMEWORK (2007)**

Park	Paterson Park
Suburb	Orange Grove/ Norwood
COJ Region	E
RSDF Sub-area & Guidelines	<p>Paterson Park is classified as public open space. All open spaces in Region E need to be protected so as to retain the remaining ecological integrity of existing catchments and ridges within the region.</p> <p>Spatial Development Strategies for Region E include supporting Sustainable Environmental Management which promotes the effective management of the city's environmental resources to develop a sustainable and quality living environment for all. Defined open spaces function as ecological, social and institutional structuring elements that contribute directly to the preservation of the city's heritage.</p> <p>The instruments for doing this are listed as:</p> <ul style="list-style-type: none"> <li>• JMOSS</li> <li>• Design Guidelines</li> <li>• Johannesburg Open Space Framework</li> <li>• COJ Wetland Audit</li> <li>• COJ Catchment Management Policy</li> <li>• COJ Biodiversity Strategy</li> </ul> <p>The objectives of Sustainable Environmental Management are, inter alia, to:</p> <ul style="list-style-type: none"> <li>• Create a network of green open spaces</li> <li>• Protect important environmental areas</li> </ul> <p>The JMOSS lays the foundation of an inter-connected and managed network of open spaces supporting interactions between social, economic and ecological activities, sustaining and enhancing both ecological processes and human settlements. The objectives of JMOSS are important considerations for spatial planning processes to ensure sustainable development. In Region E the development and maintenance of memorable open spaces, especially at key</p>

nodes and along key mobility roads, is critical. Similarly, the protection of existing ecological open spaces within the region, and the identification of potential ecological open space are also important. The environmental policy issues pertaining to development in watercourses, ridges and the provision and management of open space apply to Region E.

Johannesburg Open Space Framework recognised the need to preserve and manage the finite open spaces as residential and population densities increase. Region E is experiencing rapid development and has a backlog of open spaces. The Open Space Framework Development identifies three types of networks for consideration with the RSDF, which include Ecological Network, Social Open Space Network and, and Open Space Network. Region E has specific proposals which relate to the Open Space Framework. These are:

- Green Network and Protective Natural Area
- Extensive Land Uses
- Economic Nodes
- Industrial
- Rural Residential
- Residential Expansion
- Potential Planning Conflict Area
- Sufficient Open Space
- Shortage of Open Space
- Freeways
- Densification Corridors

SUB-AREA 26

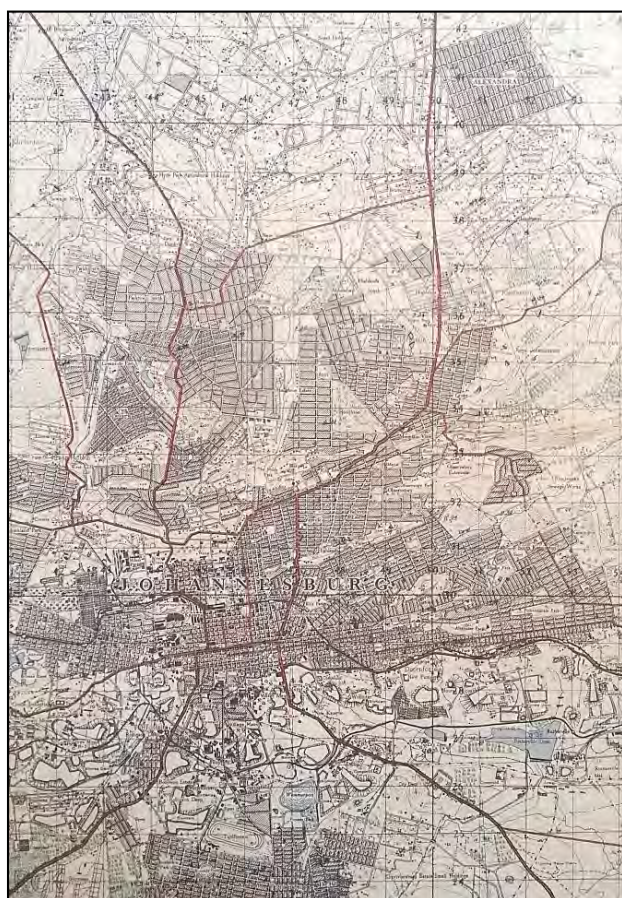
INTERVENTIONS	GUIDELINES
1.5. Upgrade Paterson Public Park by facilitating pedestrian movement through the park linking the Paterson Park Recreation Centre, to Norwood, and the proposed community/ art precinct on Louis and Pine Roads	<p>Construct Victoria Extension 3. The residential development should be integrated with the park. Demolish internal walls within the park.</p> <p>Provide defined walkways, lighting and park furniture.</p> <p>In existing structures on the park, permit social facilities,</p>

		<p>small scale retail, restaurants and office uses in keeping with the scale and functioning of the park.</p> <p>Consolidate the uses within the art precinct on Louis and Pine Roads.</p> <p>Create safe pedestrian access over Paterson Road between the Recreation Centre and the park.</p> <p>Construct an additional access to Paterson Park recreation off Paterson Road / 9th Street.</p> <p>Maintain and upgrade the facilities at the Paterson Park Recreation Centre.</p>
	<p>1.6 Protect and improve the environment</p>	<p>Support initiatives to revitalise Orange Grove along Louis Botha Avenue. Louis Botha has been identified as an urban management hotspot in terms of the Regional Urban Management Plan.</p> <p>Apply zero tolerance to illegal land uses along Louis Botha Avenue.</p> <p>Revitalise and redevelop the Paterson Park Precinct as an important structuring element in the Sub- Area.</p> <p>Protect and enhance Parks within the Sub-Area.</p>
<p>JMOSS &amp; the Open Space Framework and Policy</p>	<p>The Open Space Framework and Policy is a document of the Johannesburg City Parks &amp; Environmental Management.</p> <p>The Open Space Framework expands on JMOSS I and II by introducing a decision support and management tool consisting of</p>	

	<p>a Geographic Information System (GIS) support tool and a policy framework which is linked with the GIS.</p> <p>Detailed data bases include GIS of the green and brown network spaces, road islands and street trees.</p> <p>The 'green network' includes all ecological open space such as protected areas, nature reserves, botanical gardens, buffered rivers, water bodies, undeveloped ridges, GDACE Irreplaceable Sites and GDACE Important Sites.</p> <p>The 'brown network' includes all social open space such as parks, play areas, sports and recreational facilities, green linkages, streetscapes and potential open spaces.</p> <p>Potential open spaces combine social and ecological open space to form open space linkages such as cemeteries, educational facilities, historical places, institutional uses, streetscapes, traffic islands, communication links, degraded sites, sports and recreational uses.</p>
Tree lines	<p>The only trees of any significance other than those on Paterson Park itself, are found on the south side of Paterson Road from the entrance to the SA Police Station up to the point the road becomes 9th Street i.e. along the sports field.</p>

## APPENDIX A\_Historical overview of the Corridors of Freedom

By Clive Chipkin



### Geology & Topography

**GEOLOGY** and the 19-century World Market determined the locality of Johannesburg. **TOPOGRAPHY** contributes significantly to the sense of place, the *genius loci*, in a region of low hills and linear ridges.

Gatsrand, 30 Km to the South; Suikerbosrand, 30 Km to the South East; the Klipriviersberg immediately to the South. In the foreground are the parallel East-West scarps and residue hills of the area magically named the Witwatersrand, looking northwards across a panorama of rolling country and gently sloping valleys to the Magaliesberg horizon – all part of the multiple Johannesburg immersion.

Fig. 1 Section of topographical map of Johannesburg.  
(Source: Office of Surveyor General, Cape Town, surveyed in 1939)

The great plains of the continental plateau enters the town-lands: the Houghton-Saxonwold plain north of the ridges and Doornfontein to Turffontein plain occupying the space between the Braamfontein high ground and the Klipriviersberg.

The spaciousness – a word used by the visiting geographer JHG Lebon (1952:An Introduction to Human Geography) – of the landscape means that Johannesburg, unlike Durban and Cape Town can expand in almost any direction but after a century plus decades of urban growth, it is our delectable ridges that remain repositories of ancientness.

The north facing Parktown ridge with its extension on the Westcliff promontory and its continuation as the Houghton and Orange Grove escarpment to the east form a decisive topographical feature defining the major portion of the Northern Suburbs as well and the ancient routes of the wagon roads to the north.

Olive Schreiner and her husband, Cronwright, had on a Sunday's outing on the as yet unnamed Parktown ridge, scrambled over this 'kopje' out of town as if there was no civilisation for thousands of miles (Martin 1987:338).

The Orange Grove escarpment is "one of those prized ridge sites that constitute the north-flowing watershed of the Witwatersrand region. In fact, the perennial springs and small cascades that were once a feature here helped give this region of hills its magical 19-century name. Both the seasonal creek that creates a donga hazard at the 4<sup>th</sup> hole of the Houghton Golf Course and then continues through Orchards, as well as the Lemoenplaats Spruit originate on the high ground nearby. Below the ridge is the line of the old wagon road to Pretoria via Halfway House."



Fig. 2 Witwatersrand hills looking South from Halfway House 1889, Wagon Road: Johannesburg-Pretoria vaguely on left. The building was partly replaced by a 1930's modernistic hotel and the main tarmac road on the left in the 1930's – 1960's. (Source: Clive Chipkin architectural archive)

## Spruits

Johannesburg is crossed with numerous small seasonal watercourses – either basically North to South or South to North from the original perennial springs of the Witwatersrand watershed. Many of our south spruits were blocked or diverted in marshy peripheries by the random placing of the gold tailings. These barely noticed irregular spruits are usually discounted except as donga, sloop or water hazards on our linear golf courses. These spruits – frequently canalized or in storm water pipes and culverts – that barely feature on our road maps but can be picked up as flood-plain gaps in our townscape as in the separation of Old Alex from the newer East Bank in Alexandra Township, off Louis Botha or as riverine servitudes in suburbs from Gardens to Craighall or in building gaps in City & Suburban where the origins of the south flowing Natalspruit occurs.

Only three of our spruits have entered our consciousness – the Jukskei in the east, the Braamfontein in the west (both north flowing) and the south flowing Klipspruit in the west.

The Klipspruit "as insignificant as it is, would become the locus of Johannesburg's black locations", the great marker of 'otherness' in both the pre-Apartheid and formal Apartheid eras.

Both the Braamfonteinspruit and Jukskei are marked on early maps and were prominent as settlement places. We can assume the granite stepping-stones on the Craighall



branch of the Braamfonteinspruit are ancient trade crossing points. Upstream, van Onselen records the Amawasha presence at the San Souci hollow (Van Onselen 1982). An insignificant tributary (now partly canalized in Empire Road), fed by the flows off the Braamfontein ridge was "in the 1916 inundation a raging torrent". This area was recorded in old maps "as the Sources of the Limpopo", a designation that happily survives in the small Anglican chapel of St. Mary's-on-the-Limpopo at Palmer Place adjacent to Clarendon Circle.

The river-eye of the Jukskei is in the long valley of the original Doornfontein farm extending between the Yeoville-Observatory ridge and Langerman's Kop. The small stream explains the site of Bezuidenhout's farm.

## **Game Trails**

In his book, *The Ridge of White Waters*, WC Scully (1912) describes the migratory game herds crossing the Yeoville Ridge.

Terence Clarkson, a writer of Nature Notebook in the 1960s from a consciousness of place and recollection of conversations amongst his mother and old-timers wrote of game movements from the Empire Road tributary up the Twist Street rise and along Op de Bergen Street, Troyeville to the Jukskei spring in the long Doornfontein valley.

From family observations, I conclude that there were once elephant tracks in the kloof between The Wilds and the Houghton ridge – the route of the future Houghton Drive – leading to waterholes and succulent veld grasses in the valley below the Yeoville ridge.

## **Roads**

There were early tracks and veld paths on the Witwatersrand hills before the opening up of the gold fields. Two wagon tracks converged on Pretoria. The first was on the S-N route Scully records. This was the early route described in *Johannesburg Style - Architecture & Society 1880s - 1960s* as "winding over the shoulder between the Parktown and the Westcliff promontory and on to the crossing of the Braamfonteinspruit below the Craighall kopje" via the nearby hostelry, The Colony (Chipkin, C. 1993). This virtually follows the line of Jan Smuts Avenue today and dates from at least the "early seventies" (Scully 1912).

The road northwards from Booyens was in 1886/7 known as the Kimberley Road (according to Hunter McLea (Chipkin 1993:9)). This provides the South West entry point to the new town. The route Booyens – Market Square – Braamfontein linked up, I suggest, with the principal South – North route described above.

There was a main North-West wagon track Potchefstroom – Pretoria which skirted the Witwatersrand hills. In 1886 Sauer observed a rough turn-off from this route and "took a track leading North by East" to reach the farm Langlaagte on the Witwatersrand. This was the origin of the West entry to Johannesburg.

The second wagon track to Pretoria, along what became the Louis Botha Avenue axis has a more complicated history, as I read it.

There was an East wagon route from the port of Durban to Pretoria via Heidelberg and the hostelry that became Halfway House, which Leyds (1964) dates from 1878. This is the route shown on Thomas Baine's map, 1876.

With the establishment of Johannesburg in 1886 the main West wagon track Potchefstroom – Pretoria and the main east route Heidelberg – Pretoria both became diverted through the Randjeslaagte Mining camp centred on Market Square.

To retrace our steps in 1886:

The entry point to the new town of Johannesburg from Pretoria in the North East was via the self same Halfway House inn and then onto Lemoenplaats below the Orange Grove hill where hoards of “vuilgoed” fortune seekers were scrambling to reach the Johannesburg gold fields.

A faded 1887 map showed a diagonal route North East from Market Square, labelled “Road to Pretoria”. This became the established route (using later names) Hospital Hill, Clarendon Circle – East Avenue – Louis Botha via ‘death bend’ and the famous Orange Grove Hotel (the heir to Lemoenplaats) thus North North East as the Pretoria Road reached Halfway House onto the capital at Pretoria.

This is the historic route of Louis Botha Avenue – Pretoria Road which partly dates from Johannesburg's beginning and partly pre-dates those beginnings. A key destination was the establishment of Halfway House a decade earlier.

The Main Reef Road, the principal East-West artery after the gold discoveries, which linked the mining towns of the Witwatersrand end to end, entered Johannesburg as Commissioner Street from Jeppestown to Fordsburg. Surprisingly, it may have pre-dated the mining revolution.

A southern East-West track skirted the Witwatersrand hills and traversed the plains between the Witwatersrand and the Klipriviersberg. This was the presumed wagon track used by Meyer on his farm Elandsfontein before the gold discoveries when he transported his heavy loads of mielies for crushing at Potchefstroom milling ready for the Kimberley Market. A secondary South-North track ran along the continuity of Oxford and Rivonia roads that reached the Boer farms of the northern periphery – if not beyond. The track West of Auckland Park is the rural track below the ridges to the rural landscape through Muldersdrift to pick up the main route Krugersdorp to Pretoria.

## **Terrain of the mind**

*“People have lived in the region as long as there have been people on Earth”*

– The Cambridge History of SA Vol: (2012) – Ed: Carolyn Hamilton, Bernard K Mbenga, Robert Ross (Intro XI)

The Witwatersrand's mainly quartzite ridges are our most momentous architecture. They were home to our first humanness. This is the “primordial landscape” that Hamilton (Ibid) talks about and the view from here confirms the observation of the historian John Stoye

that “the world is neither simple or small”. If we turn from the early hominid hand-axe industries 45 minutes west from Johannesburg’s 19<sup>th</sup> century industrialization we can retrace our pre-Colonial (including near-Colonial and part-Colonial) past. The occupation of the Witwatersrand ridges – with icy winter winds and frost-belt slopes, patently less favourable for crop production than our mountain horizon of the Magaliesberg – nevertheless provide a key context for our urbanization.

Cattle and cereal farmers with stone kraals occupied the Orange Grove escarpment along the Linksfield and Mountain View terraces with homesteads in the adjacent Bezuidenhout Valley. Along the Northcliff high ground extending westwards. Gros in 1888 photographed village enclosures with veld-grass palisades on the Northcliff slopes.

Nineteenth century visitors to the interior reported the harvests of the ancestral Sotho-Tswana language people of millet, pumpkins, gourds, calabashes, sorghum – even exotic mielies and sugar-cane; enclosure pens for cattle, fat-tailed sheep, goats – nourished on the veld-grasses, supervised by the herd-boys with their calls and strumming instruments.

There was light industry of copper and iron products in the Pilanesberg and iron smelters on the Melville Koppies and at Lone Hill.

Faniel Motsepe writes that his “family history lays claim to the late stone and iron age Tswana settlement ruins along the Baragwanath Koppies”

There were, too, ancestral stone walled villages thatched with tambotie grass from the vlei together with cattle kraals and sheep folds situated on the summits and slopes of the Klipriviersberg, dramatically poised, looking northwards to the Witwatersrand hills and towards the Vaal – the old kaGariep - in the south.

Villages were linked with well tramped down trading routes crossing the seasonal spruits on stepping stones such as the significant smooth granite outcrops on the Braamfontainspruit at Craighall Park, a natural stopping venue with its pools and water-skimmed rocks.

Van Riet Lowe and BD Malan found implements indicating that San people had occupied strategic game-view sites on the Craighall Kopje and such high ground as the Parktown-Westcliff ridges and the Yeoville ridge. Juliet Marais Louw – sister of Eric Rosenthal – remembered the San shelter on the Yeoville ridge from 1914 before the embankments of Stewart Drive down to Doornfontein were constructed. (Marais 1991:2)

## **Modernism in Johannesburg**

Pre-colonial and near colonial residues – from what Jacob Dlamini (Business Day, 2015) has described as complex societies – are essential components of Johannesburg’s urbanism.

Nomboniso Gasa (Business Day, 2015) refers to African cultural and customary systems distorted by colonialism but she indicates, too, that a plurality of voices have been part of “the way many African societies build and expand knowledge”.

In this context, it is important to recognize that Modernism is not a Euro-centric construct. It is part of the rich cultural awareness of Africa of the Magreb, of Dogon, of the historic modernism of Japan, of startling music from the Afro-American diasporas in the US, Caribbean and Brazil.

In South Africa during the 20s and 30s and post-war periods – the formative years of Oliver Tambo, Nelson Mandela and Walter Sisulu – many of those engaged with aspects of modernity were not in segregated white suburbia but in the black townships, absorbing new ideas in back rooms by candle-light, listening to jazz music on gramophone records, picking up attitudes, lyrics, riffs from the black diasporas. Part of a continual process of change leading to 1994.

In the same period, small coteries in the white suburbs were identified with the utopian Modern Movement in architecture. There was intermittent awareness between these groups and township intellectuals. A young architect like Kurt Jonas was aware of the need that the new architecture and fundamental social change in South Africa should be complimentary.

## **Typologies**

### ***Suburban Gables***

Curvilinear gables are suburban Semi-Dutch. They are sometimes referred to as Dutch gables but in fact, the provenance is more complex. Their impulse is essentially part of the Cape Dutch Revival that began with the Baker school and filtered down into suburbia from Edwardian times into the 20s and 30s. Like mock Tudor triangular gables, they form part of the eclectic diversity used by speculative builders, even incorporating Art Nouveau details and other fashionable oddities. In London Osbert Lancaster labelled an associated style Pont Street Dutch – all essentially part of the intricacies that filter down from upper middle class to petit bourgeois suburbia.



Fig. 3 Semi-Dutch gabled houses along Hillbrow Street from 1910-1920s  
(Source: tsica heritage consultants, 2015)



Fig. 4 House along St. Georges Street in Yeoville with projecting stoep, triangular half-timbered gable in mock Tudor and English bay windows  
(Source: Clive Chipkin Archive)

### ***Pavement Shop Fronts***

In Johannesburg with sharp, sudden downpours and cloudbursts it was necessary to provide shop fronts with covered pavement canopies as protection for shoppers and passing pedestrians.

Four principal categories evolved and were in use throughout Johannesburg's town and suburbs.

#### **a) Victorian**

The typical use of roof afdakkies (pavement canopies) supported on cast iron columns and ornamental beam supports. These standardised cast iron components were selected from the pattern books and catalogues of British ironmongers.

"It was mainly the assemblage of cast iron balconies, balustrades and complete verandah fronts which, with their intricate silhouettes, gave Johannesburg its essentially provincial Victorian character." (Aron (ed) 1972: 75)



Fig. 5 Corner shop built in 1905 along 7th Street and 3rd Avenue in Melville, cast iron columns supporting the roof structure  
(Source: Museum Africa)

Alternatively, there was the earlier tradition of machine cut standardised timber products from the saw and scroll mills of the Baltic countries and then the mass production of timberwork from the Pacific areas of Oregon and British Colombia.

### b) Edwardian & Post-Edwardian 1920s

Cast iron became rapidly outmoded – and so Victorian – particularly as Baker influence spread. Baker strongly resented imported East Iron applique and sponsored a hand-made site bound architecture using predominantly local materials and skills.

For suburban and city shop-fronts this change of taste sponsored precast classical columns supported by roofing over the pavements. This was to sweep away the colonial Cast Iron verandah front and replace it with a simple and neat white Tuscan colonnade and classical parapet above the main building front.

### 1930s

Where the colonnade was used, now frequently supporting a concrete pavement canopy, the columns were redesigned with Art Deco classical capitals.



Fig. 6 Melville Mansions, 7<sup>th</sup> Street in Melville\_example for reinforced concrete cantilever, for Art Deco buildings slabs were supported on brackets with stepped or rounded edge forms.  
(Photograph: tsica heritage consultants, 2010)

But the advancement of reinforced concrete design also meant that the pavement colonnade was no longer necessary to provide vertical end support. This was superseded by the reinforced concrete cantilever. The pavement canopy now comprised a reinforced concrete slab cantilevered off the main building structure. In the case of Art Deco buildings these slabs were supported on brackets with stepped and rounded edge forms.

### **1930s – 1960s**

In the case of Modern Movement design, the purism of the reinforced concrete cantilever remained intact without embellishment but elegantly shaped with the mathematical precision inherent in the brilliant structural principles of reinforced concrete design.

Modern Movement thinking became the norm in the post 1945 period but by instinct these architects did not like canopies as disruptive elements. Thus the Carlton Centre buildings are pure forms without the weather protection for pedestrians, until the giant glass roof over the concourse was subsequently erected.

The Carlton Centre also demonstrated building elements set back from the pavement boundary lines so as to create urban space and piazzettes. This avoided the blandness of Johannesburg's high corridor streets on the 1930's.

### **Johannesburg Prototypes for the future**

Johannesburg has a long tradition of local architecture –

- Some superb
- Some mediocre
- Some bland
- Some pretentious
- Some appalling

There are good examples of climatic and regional architecture, many noticeable projects influenced by our rich African cultural environment; some influenced by a strong response to our local and sub-continental climate; some 'faux feudalism' in the old upper class precincts like Parktown; many seduced by a false Euro-centric identity as in the inappropriate but widespread Tuscan style influenced by a generalized Post Modernism, 1970 – 2000.

We can learn lessons from valuable prototypes for future nodal growth points in order to reinforce and articulate regional style.

Here are some invaluable precedents:

***Prototype 1: Wits Student Housing, Junction Avenue – Boundary and Jubilee Roads, Parktown. Architect Planner: Ludwig Hansen 2009.***

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Medium to high-density 3 and 4 storey blocks incorporating surviving historical residences which were converted into social facilities. The planning has consistency, urbanity, green-belt space and historical resonance.



Fig. 7 High density 3 & 4 storey blocks with residue historic blocks\_a system of domestic units that creates urbanity, communal space, civic quality and an awareness of history on sensitive topography.

(Drawings: Ludwig Hansen, 2009)

***Prototype 2: African Star Housing – Bellavista Road, Turffontein (1949) by Douglas Cowin.***

I have called this our first *Siedlung*.

The design flair of Douglass Cowin, with elegant, robust three storey row houses and separate semi-detached blocks, with green-belt open space and social facilities, is a planning exemplar.

***Prototype 3: Walkways, Courtyards on Rothesay and Buckingham, Craighall Park by Michael Sutton (1970 – 1979).***

Two storey, compact row houses with private gardens – a perfect example of high density living.





Fig. 8 Walkway courtyards\_two storey compact row houses, Craighall Park, Michael Sutton (Photograph: Clive Chipkin)



Fig. 9 Interior view to private enclosed garden, Craighall Park, Michael Sutton (Photograph: Clive Chipkin)

#### ***Prototype 4: Yeoville – Bellevue Maisonettes***

Beginning in 1920s but mainly in 1930s **FLATTED MAISONETTES** were developed in Yeoville-Bellevue spreading to other suburbs\_a highly economic, comfortable, high density residential type of 2/3 (even 4) walk-up floors.

During the late 1920s but predominantly in the 1930s a 2 – 3 floor (even 4 floor) walk-up attached housing unit emerged, a Yeoville type that spread to other suburbs. This was a highly efficient and economic type with 2 attached flats per floor creating high density living. There were several iterations. In 1992 Clive Chipkin explored these prototypes and designed a high density housing scheme based on these Yeoville house-types.

This project was examined by Wits Quantity Surveying Department who confirmed unit price was equal to RDP housing types but at 4 – 5 times the population density and with congenial accommodation.



Fig. 10 Mass housing based on Yeoville type flatted maisonette.

(Source: Drawing by Clive Chipkin, 1993)

**Prototype 5: Brookwood**

This townhouse complex comprises two storey row houses providing medium-high density in a green-belt setting with mature trees and private gardens. The open space is more than generous and could be reduced. Habitat, trees, verdure – the Le Corbusier proposition realized.



Fig. 11 Hyde Close, Hyde Park designed by Helmut Stauch 1967

(Photograph: Clive Chipkin)

### **Prototype 6: Balconies**

We can learn from balcony precedents where they are successful as valuable spatial extensions.

The design flair of Douglass Cowin, with elegant, robust three storey row houses and separate semi-detached blocks, with green-belt open space and social facilities, is a planning exemplar.



Fig. 12 Balconies as plant areas. Bosco Verticale, Milan. Architect: Boeri Studio.  
(Source: Earthworks journal, Issue 24/2015)



Fig. 13 (Left) University Gate, Braamfontein, 1961 by Clive Chipkin\_large deep balconies with box food planting areas. Projections act as summer sun protection. (left)

Fig. 14 (Right) Reading Court on Louis Botha Avenue, Hillbrow, 1936 by Hanson, Tomkin & Finkelstein. Large balconies with sleeping porch.  
(Source: Clive Chipkin Archive)

## Looking to urban precedents

It is not Euro-centric to examine urban forms elsewhere. London described as “the unique city” by Danish planner Rasmussen, has in over more than four centuries of urbanisation produced countless case studies for mass population housing, many of universal application. The German cultural attaché in London at the beginning of the 20<sup>th</sup> century, Herman Muthesius wrote *Das ‘Englische Haus’* to apply lessons for the fast growing new German cities. Marie *Huchzermeyer’s Tenement Cities* compares 19<sup>th</sup> century Berlin to 20<sup>th</sup> century Nairobi. Compare, learn, digest.

### **Prototype 7: Myddelton Square London**

So unexceptional are these 2/3/4 storey examples in London’s vast townscape that Pevsner in his *London Guides* makes only brief mention of them. But to South African eyes, used to low density free-standing suburban housing with lack of social focus these examples are exhilarating.

### **Prototype 8: House Kganakga, Phokeng**

These Highveld vernacular Sotho-Tswana dwellings linked into a spatial framework stir similar yearnings for architectural cohesion



Fig. 15 Kganakga family house\_spotless, immaculate old courts built by the family’s grandparents in 1930s\_verandahs, rectangular & circular shapes, screen walls establishing habitat, residence, address (also see Fig. 48 and Fig. 49)  
(Source: Clive Chipkin Archive, May 1963)



Fig. 16 Kganakga family house



Fig. 17 Kganakga family house

## Concept drawing: The Corridors of Freedom



Fig. 18 Concept drawing 15/821  
(Source: Drawn by Clive Chipkin; 2015)

## Index to Concept Drawing 15/821: Louis Botha Corridor (northwards from Clarendon Circle)

### 1. Clarendon Circle Zone (Parktown/ Hillbrow)

This is the historic intersection of two major routes (East-West Empire-Perth route, North East Louis Botha corridor) with just sufficient remnants to recall its unrealised attempts at civic order and tour d'horizon.

- 1.1 Twist Street and Paul Nel streets are principal entry points into Hillbrow
- 1.2 The crossing of Banket and Paul Nel reveals the essence of the Hillbrow Vernacular. Hermanna Court is an iconic building of international importance
- 1.3 Palmer Place (West side) with St. Mary's-on-Limpopo
- 1.4 Circle Court: key Art deco Foyer
- 1.5 Majestic Mansions
- 1.6 Park Lane: adjacent to the Clarendon Circle hub



Fig. 19 & Fig. 20 Clarendon Circle – a hub of 1920s and 1930s blocks of flats. Majestic Mansions and Parktown Mansions are gone but Circle Court (1936), the essence of Clarendon Circle, remains. The Art Deco sub-theme reaches its full expression in an entrance foyer that is an Art Deco exemplar.

(Photograph: Clive Chipkin)



Fig. 21 Art Deco block on Louis Botha Avenue, on the east edge of Clarendon Circle.

(Photograph: Clive Chipkin)



Fig. 22 Park Lane\_Lyndon Hall\_1930s block of flats with authentic Art Deco flair. The period feel of the entrance name says it all with the strong impulse to be Deco modern. Secluded Park Land and Princess Place are behind the street frontage of the Louis Botha-Empire Road axis\_ once a residential enclave. (Photograph: Clive Chipkin)



Fig. 23 Park Lane\_Victorian colonial residence with perimeter verandah and steep corrugated iron roofing. Once a prominent double storey landmark off the old wagon road to Pretoria, via Halfway House (Photograph: Clive Chipkin)

## 2. Architectural Enclave on Curve (Hillbrow/ Berea/ Houghton)

One of the best illustrations of Johannesburg architectural virtuosity:

- 1.7 Royal Crescent
- 1.8 Reading Court
- 1.9 Ridgeview Mansions
- 1.10 Clarendon Court
- 1.11 Fire Station
- 1.12 Victorian Terrace Housing (Banket Street)
- 1.13 Chapmans Peak (1 Mitchell Street)

These seven complexes, on or adjacent to the Louis Botha curve together raise the question of the mentality of 20<sup>th</sup> century architecture. I would call this a world heritage site with a beguiling concentration of sequential architecture 1910 – 1960.



Fig. 24 Louis Botha Corridor\_Clarendon Place beads into Louis Botha Avenue\_Fire station precinct consists of Royal Crescent, Reading Court, Ridgeview Mansions, Clarendon Court, Berea Fire Station, Victorian Terrace, Curvilinear Le Roith flat block  
(Source: GIS map, City of Johannesburg)



Fig. 25 & Fig. 26 Berea Fire Station 1910; adjacent architecture with reference to Victorian terraces of a decade earlier  
(Photographs: Clive Chipkin)





Fig. 27 Clarendon Circle 1938: Circle Court (LH); Bus shelter; Majestic Mansions (RH); Trolley Busses; Empire Exhibition; Street lighting  
(Source: Museum Africa)



Fig. 28 Ridge View Corner Banket Street (left); Reading Court (right), Ridge View is a setback flat block from the 1920's which creates a memorable urban space  
(Photograph: Clive Chipkin)



Fig. 29 Royal Crescent (right) on the curve; Reading Court (left) which is a major example of a Modern Movement building, restoration work is needed  
(Photograph: Clive Chipkin)

### 3. Hillbrow Overview

Hillbrow, originally a low-density residential suburb mainly of separate garden houses; with 20s and 30s blocks of flats along or adjacent to the tram route, was converted in the immediate post-war period into a “high-rise, high density laissez-faire apartment zone”, seemingly overnight in the Johannesburg manner. When the architectural historian, Nicholas Pevsner visited this area in 1952 the new architecture was “extraordinarily consistent in its use of modern idiom”. He came up with the description “The Hillbrow Vernacular”.

Principal entry points into Hillbrow from the Louis Botha – East Avenue corridor are via the Banket Street, Paul Nel and Bruce Street portals.

Among the highest concentrations of buildings – the very essence of the vernacular – occur at the intersections of Banket and Paul Nel or Banket and Bruce. At the entrance to Bruce: Groot Drakenstein (1952), Clarendon Heights (1950). At the corners of Banket and Paul Nel: Stamford Hall (1948), Westbrook, Los Angeles – large blocks with evidence of the pilot of the Modern Movement.

Close-by is Plettenburg – an archetype example of the post-war style.

A classic Hillbrow block recognized as of international significance is Hermanna Court (1947) by the architects Cowin and Ellis, situated at the corner of Paul Nel and Claim, directly opposite the first Reform Synagogue referred to previously.

A visit to Hillbrow in 2015 creates 2 impressions:

Firstly, the embarrassment of street facing, west orientated window wall blocks in the most awful state of disrepair; secondly, the surprise of how many building representatives of the Hillbrow Vernacular have stood the test of time. Many of these Hillbrow prototypes have stood up to extreme dilapidation, stressful overcrowding, wear-and-tear over six and seven decades. They have ubiquitous face-brick cladding, sensible windows, robust detailing, rational planning with sun-trap balconies. All need major repairs and complete replacement of services but this may be achieved at half the costs of new buildings plus demolition of old.

- The Fire Station precinct at the north end of Banket Street (off Louis Botha) is described above
- East side of the Louis Botha – East Avenue corridor has some noteworthy examples of Johannesburg Architecture
- Sunny Ridge on Yettah Street is a residential block by H.H. Le Roith, an early 1960s block linked to modernism but demonstrating the waning of the Hillbrow Vernacular
- Both Royal Crescent on the Louis Botha corner curve – a work by Kallenbach, Kennedy & Furner (described as part of the Fire Station precinct) & King’s Langley, a large block on the Paul Nel Street corner are 1930s examples of cautious modernism
- At the corner of Paul Nel and Claim is the first Reform Synagogue opened in 1936 and designed by Kallenbach, Kennedy and Furner, modern in moderation with Art Deco infiltrations.

#### 4. High Ground View Site Over Valley

Stone retaining wall creates this momentary spectacle. The bus shelter is intrinsic to wall.

Edwardian boarding house/residential hotel. During the war this was requisitioned for families of servicemen up north.

Intersection of Louis Botha and Bedford Road (the old tram terminus) forms a natural organic growth point of demographic significance.

Adjacent to a rich cultural and social infrastructure this is a key nodal point for high density mixed development with green belt views. e.g. street blocks between St. Georges and Dunbar: near major schools, major church establishments, libraries and sports facilities.

Suitable for four floor apartment blocks with five levels if duplex placed on upper level.



Fig. 30 Yeoville terminus node intersection of Louis Botha Avenue and Bedford Road. Medium to high density node

(Source: GIS map, City of Johannesburg)

#### 5. Louis Botha Bend (Houghton)

Where the original wagon road from Pretoria via Halfway House turned away from the cliff face of the Orange Grove escarpment at Lemoenplaats and ramped up to the Yeoville plateau. This was the route taken by the “vuilgoed fortuinsoekers” (‘dirty’ fortune seekers) swarming to the new goldfields (Chipkin, C. 1993:7).

A British blockhouse on the high ground commanded the Lemoenplaats route.

In the 1930s a luxury apartment cluster was developed in this area prompted partly by the nearby position of the up-market Houghton Golf Course. This included the major blocks Lauriston Court, Roxdale, Houghton Heights and in the 1950s by North Berwick. Above the golf course is the damaged, un-occupied kopje where a high quality apartment block could be developed.

## **6. Orange Grove**

A neat 1930s middle class suburb with some important landmarks such as the Methodist centre. West of Louis Botha is Sixth Street. The urban character is enhanced by street frontage greenery. Sixth Street begins with single storey early 20<sup>th</sup> century terrace houses and four neighbouring houses altered by the architect Mira Fassler Kamstra with urban flair.

The Radium Beer Hall (1929) at the corner of Louis Botha and Ninth Street is a noted landmark – an old colonial pub with its long counter – except we call it Bar-Kroeg, hard drinking without femininity.

## **7. Maryvale/ Rouxville/ Hawkins Estate**

This is a key historic Catholic enclave with the important post war church of Our Lady of the Wayside.

- 7.1. Harrock Heights (1950) by HH Le Roith – an example of post-war street architecture with urbanity (Rouxville)
- 7.2. The Doll House on Louis Botha – one in Johannesburg and one in Durban: a US style roadhouse with American milkshakes, chocolate malted, hot dogs with chips and vinegar; trays clipped onto half open car windows. The neon sign read, 'Flick Lights for Service'. Cute romanticism and drive-in venue for the US style automobile age. (Hawkins Estate)

## **8. Orchards Area**

**The Kraal** (Satyagraha House) in Pine Street is the house occupied by MK Gandhi and designed by Hermann Kallenbach. Reinstated with additions by the architect Rocco Bosman – a major example of historical empathy and clarity.

## **9. Balfour Park & Randjeslaagte**

Sculptured relief is by Edoardo Villa. The centre established the importance of this crossroad. Opposite is Randjeslaagte village, an exemplar of social housing and care centre.

## **10. Savoy Square/ Bramley**

Capri Hotel and a natural high-density future nodal point.

Bramley House at No. 2 Forrest Road for the émigré sculptor Ernest Ullmann by the émigré Bauhaus architect Steffen Ahrends (late 1930's).

## **11. Alexandra**

This is a well-documented poverty area. The area indicated is a natural interaction zone with the Sandton tax base to envisage condominium planning to take Alexandra out of the box.

Extensive research in *Changing Space, Changing City: Johannesburg After Apartheid*, (Todes et al. 2014; see p.342 onwards).

Proclaimed in 1912 – thus preceding the 1913 Land Act – for African and Coloured occupation. This is the origin of the new class of Black property owners that later so antagonized the Apartheid authorities.

The Alexandra Renewal Project (ARP) dates from December 2001 and Harrison et al (ibid) describes this as the largest area-based development project in South Africa, involved in de-densification as well as expansion across the flood plain of the Jukskei stream to the East Bank and Far East Bank.

Clearly, like Kliptown, there is evidence of a clash of interest between State, Province and City.

The authors – Philip Harrison, Adrian Masson and Luke Sinwell – come to the very strong conclusion that the "planning is not informed by deep analysis".

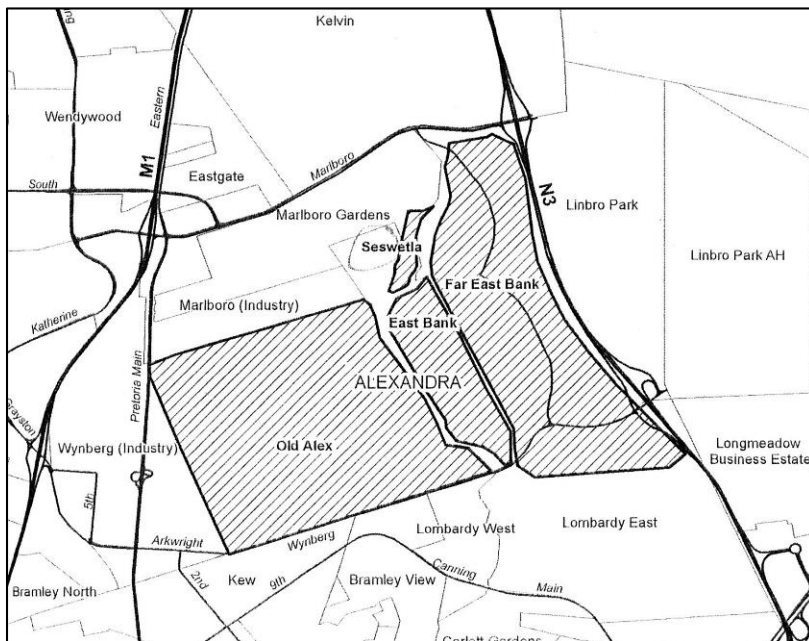


Fig. 31 Alexandra and its component parts, 2010.  
(Source: Harrison, Masson and Sinwell, p.349)

The ARP has however assisted in bringing to light the social and political history of one of South Africa's oldest townships. (See Bonner, P & Nieftagodien, N. 2008)

## Index to Concept Drawing 15/821: Empire-Perth Corridor (westwards from Clarendon Circle (number 1))

### 2. Series of architectural precincts (Parktown)

- 2.1 Queensgate on the corner of Empire and Queens roads is a significant post-war apartment block.
- 2.2 Princess Place – a sequence of post-war apartment blocks, which provide precedents for high-density living adjacent to garden space in the Le Corbusier philosophical tradition. The entire precinct is of great importance.



Fig. 32 Princess Place indicated in green\_high density apartment block. Precinct with green-belt and private gardens  
(Source: GIS map, City of Johannesburg)



Fig. 33 Princess Place precinct: a superb high density urban environment close to city life (Photograph: Clive Chipkin)



Fig. 34, Fig. 35 & Fig. 36 Generally 5 floors (including ground floor parking) with Princess Towers set back for eight floors (Photographs: Clive Chipkin)





Fig. 37 & Fig. 38 Princess Place: the large apartment blocks, generally 4-5 storeys high, including ground floor parking have large internal greenbelt gardens behind the street façades. Photos show mature trees lining the private garden as seen from Phoenix Place.  
(Photographs: Clive Chipkin)



### 3. WITS (East Campus & West Campus)

Besides being a historic centre of international learning there is an amazing depth of architectural types – many of international significance. The history of 20th century architecture can be studied here by analysing the extant standing examples and reading the ideological drives in the library collections.

### 4. Parktown & Westcliff

Suburbs that encapsulate Johannesburg's Big Houses in English Garden Suburb layouts. These were the properties of the owners of the means of gold production – romanticized in many histories as 'The Randlords'. Many houses in these exclusive reserves, designed for the rich, look over vast panoramic views of the African sub-continent (Aron & Benjamin, 1973:53).





Fig. 39 Interior of a Parktown Great House, Dolobran, in its heyday. Art Nouveau Fanlight\_part of the “faux feudalism” on the Parktown Ridge 1892-1930  
(Photograph: Clive Chipkin Archive)

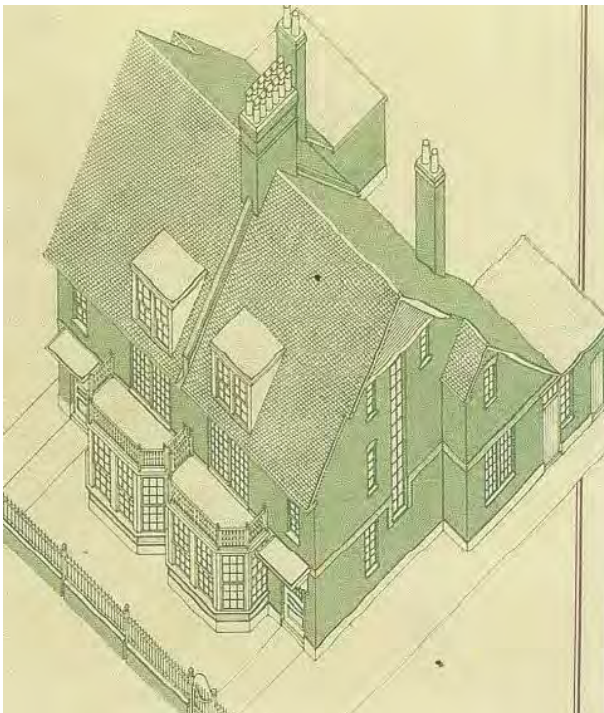


Fig. 40 Bedford Park, London (1875-1886) \_prototype for Colonial Garden Suburbs  
(Photograph: Clive Chipkin Archive)



Fig. 41 Parktown, 1892 in its heyday. Bedford Lodge 1912\_outside main gate. Loewenstein family in their new Talbot  
(Photograph: Clive Chipkin Archive)

## 5. SABC Campus precinct

Once a centre of Apartheid ideology and also Apartheid's attempt to project the Image of a modern state. The growth of Melville's café-society is explained by the presence of a large number of intellectuals working at the SABC and RAU (the fore-runner of UJ).

The old Gasworks site is a huge example of dramatic industrial archaeology of the period when Britain was still the workshop of the world.

## 6. University of Johannesburg

This highly significant campus in Auckland Park was created as a single project over the period 1969 – 1975. The design was by Wilhelm Meyer and Partners, heavily influenced by the practice's mentor, Louis Kahn in Philadelphia. A major centre of learning and architecture.

## 7. Western Areas

All the urban forms in these areas are the constructs of the old pre-democratic South Africa – from the old white working class suburb of Westdene to the rigidly segregated townships of what in the 1950s were called the Western Areas comprising Western Native Township, Newclare and Martindale. The extraordinary history of Sophiatown is summarized in the name changes: Sophiatown – Triomf – Sophiatown. This area is overwhelmingly important in Johannesburg's urban history.

## 8. Sophiatown-Triomf- Sophiatown

The WESTERN AREAS on the Johannesburg periphery comprised Sophiatown, Martindale, Newclare and further south, Klipspruit – all areas adjacent to sewage sites.

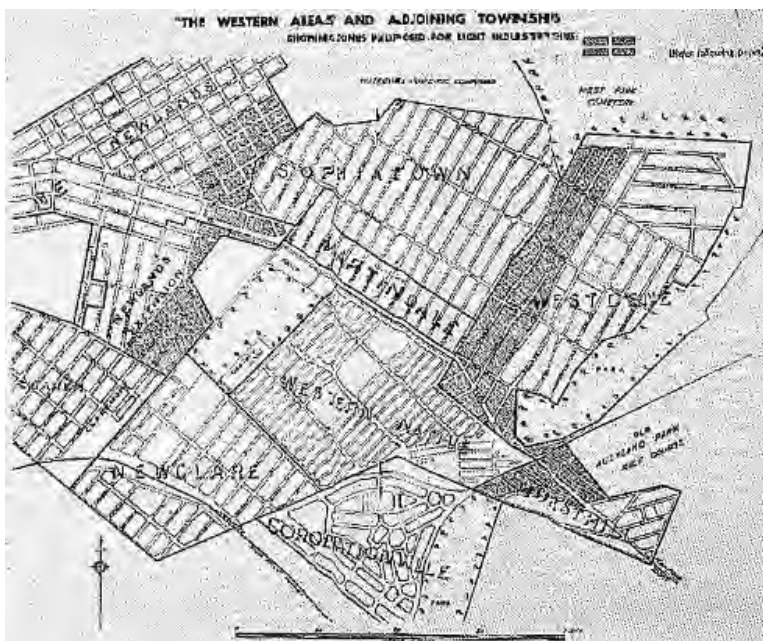


Fig. 42 The western areas and adjoining townships (Source: Chipkin, C, Johannesburg Style 1993, p. 201)

The artist Gerard Sekoto arrived in Sophiatown in 1939 and his paintings do not show the subsequent over-crowding.

By the time writers like Casey Motsisi and Can Themba were writing in the post-war era Sophiatown, in Casey's words, was "always ticking – a time bomb area", grossly overcrowded with secret shanty booze-joints rich with jazz groups, literary culture, artists like Feni, Sithole,

Matsoso, jazz at the Odin Cinema in Good Street, musicians like Dollar Brand, Kippie Moeketsi, Hugh Masekela.

Forced removals moved people to Meadowlands. By 1963 Sophiatown was a white area named Triomf.

## **Index to Concept Drawing 15/821: Turffontein Corridor (southwards from historic CBD)**

### **1. Old South**

The major Southern routes are summarized below:

- 1.1. The Sauer Street – Booyens Road Route. The South to South West route has been absorbed into the M1 motorway beyond Xavier Street
- 1.2. Eloff Street Extension was a natural addition leading southwards to the new suburb of Turffontein dominated by the large open space of the Turffontein Race Course. This route splits to accommodate the east and west boundaries of the racetrack
- 1.3. The route of von Weilligh Street and its southern extension was defined by active mining operations and the east perimeter of the Turffontein Race Course

It is the intersection at the South East corner of the Race Course, which became the nerve centre of the southern suburbs with the new suburb of Rosettenville occupying a crucial position to create one of those untidy traffic nubs that are typical of 19th century industrial cities.

This historic intersection forms a natural node for future developments. The general area has a busy urban layout with several important buildings to take note of.

We see this in a time of growth as the centre of a large Southern Node, the counterpart to the Northern Node at Sandton. Population and income levels will determine the future of what is essentially a geographically favourable area.

The core historic suburbs of La Rochelle and Regents Park will inevitably form part of the above nodal development. One day, we conclude, the economic benefits and financial possibilities of these urban areas will be discovered. When Johannesburg's population reaches 10 million this will be an area of fundamental importance.



Fig. 43 La Rochelle\_hipped roof houses with stoeps facing street, disregarding climate orientation. There is no tradition of atriums or courts\_only small, separate rectangular houses placed in the middle of the stand

(Source: GIS map, City of Johannesburg)

In summary:

La Rochelle: with the idiomatic hip-roofed rectangular houses; with parks and urban open spaces; with surviving Victorian verandah houses and Catholic institutions as landmarks and Lusophone cultural atmosphere that enriches urban life.

Regents Park: with crowded lower income entry-level houses (comparable to Soweto) with extensive open parks which are an invaluable resource.

An area with distinct possibilities. The presence of Forest High School provides distinctiveness to the area with post-Edwardian civic architecture. Some Victorian residue houses in the neighbourhood could contribute social amenities to new development.

To the west of Bellavista Road, near a residue slimes dam, is a housing estate for ex-servicemen in 1946. Its original name was Africa Star – a large complex with communal facilities. It is our first and only *Siedlung*, a term derived from pre-Hitler Germany. African Star presents itself as a prototype for purposeful new housing solutions in this area.

## 2. New South

Mondeor and Robertsham are post-war suburban developments dating from 1948. Similarly Linmeyer was laid out in 1948 but like its neighbouring suburb of Oakdene these rising middle-class suburbs are principally late 1950s and 1960s developments on southern slopes below the South Rand Road. Johan Meyer Street, for example offers incredible views southwards towards the Klipriviersberg.

The higher property value suburbs of RIDGEWAY, MEREDALE, GLENVISTA, MULBARTON, BASSONIA began as 1970's speculative developments laid out by property investment companies like Corlett Drive Estates which after a spectacular rise on the curve of the property boom c. 1970 subsequently ended with a spectacular crash. Suburbs with Glen prefixes were

products of Glen Anil Estates which became a household name in the 60s and 70s but ended in the same way.

These suburbs which “traverse the slopes of the Klipriviersberg” form the core of what Phillip Harrison & Tanya Zack have called the NEW SOUTH, mainly the product of the “25 township establishments in the 1970’s” (Harrison & Zack, 2014).

## APPENDIX B\_Timeline and significant trends within Orange Grove Precinct

14 <sup>th</sup> c.	Early groups of seTswana and seSotho people settle on the Highveld
1853	Gold prospecting along the Jukskei river
1886	George Harrison finds the main reef on Langlaagte farm Founding of Johannesburg Survey of stands on Randjeslaagte
1894	Hut and poll taxes force rural men to seek work on the mines
1896	Modderfontein dynamite factory opens Italian community settles in Orange Grove
1899	Outbreak of the South African War Blockhouses built in Johannesburg vicinity including one along the Old Pretoria Road
1900	Johannesburg surrenders to the British
1902	Orchards, Mountain View & Norwood established
1903	Observatory established
1904	Orange Grove established
1905	Queen Alexandra Home founded by the Guild of Loyal Women Sydenham established
1907	Hermann Kallenbach owns Linksfield Ridge and establishes a house at "The Kraal" 15 Pine Road in Orchards
Pre-1908	Orange Grove Hotel
1917	Louis Botha Avenue formally named after the first Prime Minister of South Africa
1919	The Good Shepherds Home
c. 1920	Paterson Park War Memorial
1922	Rand Revolt
1925	Scout Hall
1928	Paterson Park acquired by Council
1929	Radium Beer Hall
1930s	Orange Grove Primary School
1936	St Augustine Anglican Church
1937	Vangelia Court
1938	Electrical substation, "Spark Gallery"
1939	Maryvale established Maryvale College

1943	Alexandra Commuters Boycott
1949	The Royal Cinerama by Kallenbach, Kennedy & Furner
1950s	By the 1950s Orange Grove is known as 'Little Italy'
1950	Harrock Heights built in Maryvale Orange Grove Library
1953	Paterson Park School
1956	OK Bazaars building on Louis Botha Ave St. Giles, Presbyterian Church
1957	Alexandra bus boycott
1959	Pine Street Shul
1994	First Democratic Elections

**APPENDIX C\_Recommended additional residential sites by JHF  
(Johannesburg Heritage Foundation)  
within the Orange Grove precinct and surroundings**

**Further research and grading is recommended for these sites:**

**Fellside** Erf 29, Fellside (57 Davidson Street) – a remarkably preserved bungalow circa 1920.

**Bagleyston** Our Lady of the Wayside Church from 1959, designed by Voorveldt and containing the magnificent Armando Baldinelli mosaic on its southern façade. The interior is as remarkable as the exterior.

**Maryvale** The Smollans complex at 25 Hathorn Avenue between Dunnottar Street and St Mary’s Road – originally the manufacturing premises of Hubbly Bubbly – including excellent examples of 1930s bungalows converted to offices.

31 Hathorn Avenue, a very good 1930s bungalow in excellent condition.

**Sydenham** 9 Dunnottar Street – excellent and well preserved 1930s bungalow.

**Orchards** Hilljay Court, at the corner of Louis Botha Avenue and Garden Road, though not of any particular architectural value, makes a contribution to the streetscape



## Orange Grove (with accompanying photos where relevant):

**1<sup>st</sup> Street** An important streetscape: fine jacarandas, important historic structures on the southern erven (situated in Mountain View) and sympathetic and not unimportant structures on the northern, Orange Grove erven. The extension eastwards leads into Fairwood, which has a number of significant bungalows dating from the 1910s to the 1930s. Densification should not occur on this street.

**2<sup>nd</sup> Street** The corner of 2<sup>nd</sup> Street and 4<sup>th</sup> Avenue is important. 90 2<sup>nd</sup> Street has been graded in the HIA, but its neighbours on the south-western and north-western corners of this intersection are attractive and well preserved too. They should be recognised for at least streetscape value.



**5<sup>th</sup> Street** 42 5<sup>th</sup> Street has been graded in the HIA, but its attractive and seemingly identical neighbours at 44, 46 and 48 have been omitted, and should receive the same grading.

**6<sup>th</sup> Street** 6<sup>th</sup> Street is amongst the most significant in Orange Grove. Sites are included from West to East:

16 6<sup>th</sup> Street is nevertheless very attractive and well preserved.



Three Orange Grove houses (47, 50 and 52 6<sup>th</sup> Street) re-imagined by the architectural practice of Fassler-Kamstra Holmes received the SAIA Award of Merit in 1987 -

<http://www.artefacts.co.za/main/Buildings/bldgframes.php?bldgid=9172>. They are important examples of post-modernism in Johannesburg and contribute to the streetscape, and should be included in the HIA.

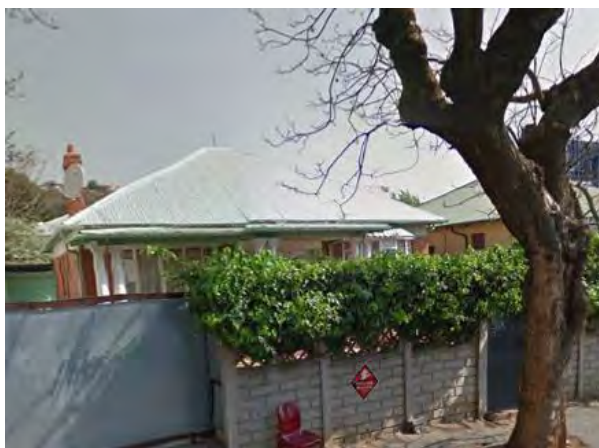


9<sup>th</sup> Street 9<sup>th</sup> Street is amongst the most significant in Orange Grove. Sites are included from West to East:

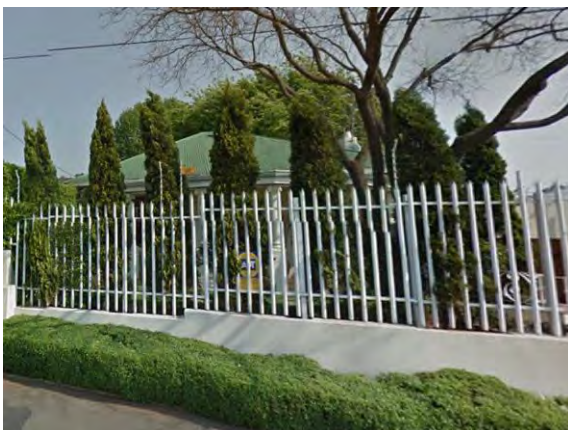
Semi-detached houses at 11 9<sup>th</sup> Street:



Intact streetscape in the vicinity of 36 9<sup>th</sup> Street:



10<sup>th</sup> Street 36 10<sup>th</sup> Street requires further investigation:



## 12<sup>th</sup> Street

- 52 12<sup>th</sup> Street requires further investigation:



## 13<sup>th</sup> Street

- The attractive 1930s bungalow at 83 13<sup>th</sup> Street should be considered for grading:



## 15<sup>th</sup> Street

- The dwelling situated at erf 841 has a remarkable relationship with the corner, is not hidden behind high walls and is remarkably intact. It is one of the finest houses in Orange Grove and should be graded.



## 16<sup>th</sup> Street

- The 16<sup>th</sup> Street streetscape between Louis Botha Avenue and 8<sup>th</sup> Avenue is remarkably intact and should be recognised. No 11 is particularly attractive.



## 17<sup>th</sup> Street

- 21 17<sup>th</sup> Street should be considered for grading.

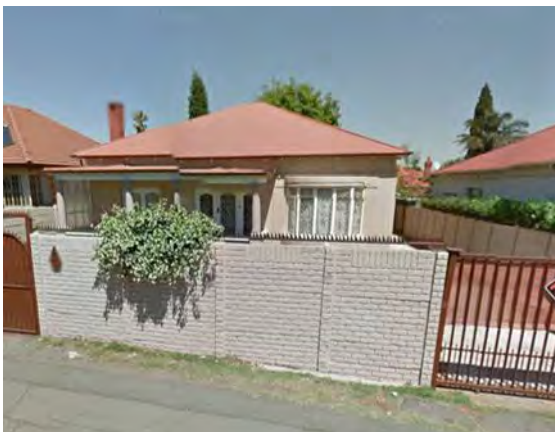


## 8<sup>th</sup> Avenue

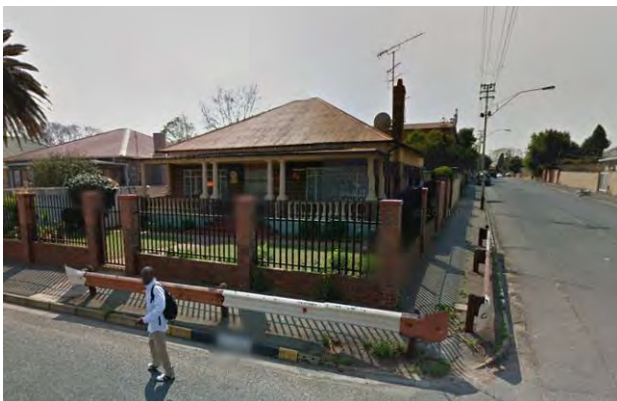
- 29 8<sup>th</sup> Avenue is an attractive and well preserved 1930s bungalow, and should be considered for grading:



- 77 8<sup>th</sup> Avenue is an attractive and well preserved 1930s bungalow, and should be considered for grading:



- 82 8<sup>th</sup> Avenue is an attractive and well preserved 1930s bungalow, and should be considered for grading:



## 6<sup>th</sup> Ave

- No 8 6<sup>th</sup> Avenue may warrant more research:



## **Appendix D\_Recommended tree-scapes by JHF (Johannesburg Heritage Foundation)**

within the Orange Grove Precinct and surroundings

### **Avenues of Trees**

The importance of mature trees in streetscapes should be recognised. The avenues of planes and jacarandas in the pre-1930s suburbs provide much of their character, and are as important if not more so than the built structures themselves. The removal of mature trees permanently devalues a streetscape.

Important avenues that should be recognised and protected include (from north to south, from Highlands North to Houghton):

Highlands North (roads intersecting Louis Botha only):

Athol Street - Jacarandas

8<sup>th</sup> Avenue – Planes

6<sup>th</sup> Avenue – Planes

5<sup>th</sup> Avenue – Jacarandas

3<sup>rd</sup> Avenue – Jacarandas

Rouxville (roads intersecting Louis Botha only):

Boundary Road – Stinkwoods

Main Street – Planes

Zuid Street – Pin Oaks

Maryvale:

St Mary's Road – Planes

Orchards (roads intersecting Louis Botha only):

Oaklands Road – Planes

Garden Road – Planes

Orange Grove:

15<sup>th</sup> Street – Jacarandas

13<sup>th</sup> Street – Jacarandas

12<sup>th</sup> Street – Jacarandas



10<sup>th</sup> Street – Planes

9<sup>th</sup> Street – Jacarandas

3<sup>rd</sup> Avenue – Jacarandas

1<sup>st</sup> Avenue – Jacarandas

8<sup>th</sup> Avenue – Jacarandas

9<sup>th</sup> Avenue - Planes

Fellside:

Unity Street – Planes

Houghton:

Houghton Drive - Jacarandas

## **Appendix E\_Digitised map with heritage significant sites within Orange Grove precinct and Excel spreadsheet**